

Village of Indian Creek (HOA)

15371 River Vista Drive
Fort Myers, FL 33917

Village at Indian Creek



**15371 River Vista Drive
North Fort Myers, FL**

10/5/2023

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INTRODUCTION TO REPORT FORMAT

The following condition codes are intended to provide a summary of the overall condition of each roof system.

Below is a listing of the condition codes used and their associated meaning:

ROOF CONDITION CODE	DESCRIPTION
Failed 0-1 Years Remaining Service Life	Removal and replacement of the roof system within the next 12 months is recommended due to the severity of deterioration.
Poor 2-4 Years Remaining Service Life	The roof assembly has surpassed or is nearing the end of its useful service life. Replacement will be required in the near future but can be temporarily postponed with strategic repairs until the frequency of leaks becomes unacceptable to internal operations or on-going repair costs become prohibitive.
Fair 5-7 Years Remaining Service Life	The roof system is serviceable yet requiring repairs and routine maintenance to maintain. Repairs should be implemented in a timely manner to prevent further development.
Good 8 Plus Years Remaining Service Life	Only minor repairs required or early in service life with no repairs required. Repairs should be implemented in a timely manner to prevent further development.

On the Detailed Deficiency Listing page of the report is a Deficiency Priority. It is located on the left hand margin of the page. Each deficiency is given a priority for completing the needed correction, depending on the urgency of the problem. The keys to the priority codes are as follows:

"E" Emergency - Correct immediately - Life Safety or Possibility of Personal Injury is a Major Concern

"C" Critical - Urgent need for immediate repair to avoid imminent failure with risk to life safety or risk of major disruption to operations

"S" Significant - Lack of immediate attention may lead to much higher repair cost or premature failure of roof system within 12 months

"M" Minor - Not an immediate concern, but should be scheduled for repair

"MN" Monitor - Defect should be addressed at time of roof system replacement or re-inspected annually for further deterioration that would support reclassification to a higher risk category

"N/A" – Not Applicable - No Corrective Action Required

INTRODUCTION TO REPORT FORMAT

(Cont'd)

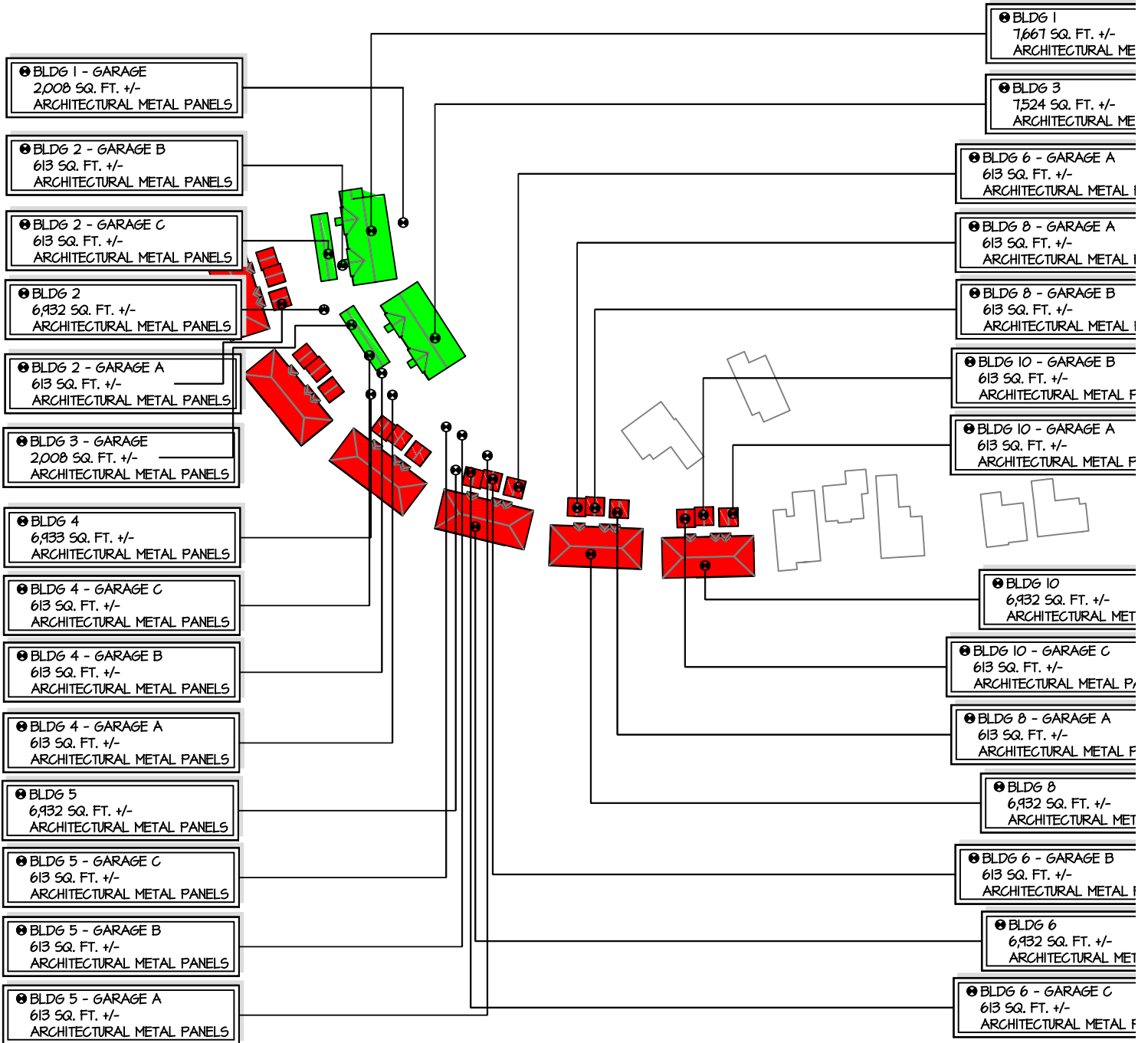
In the event a corrective action is considered routine maintenance for completion sometime with in the next 1-5 years, the following Deficiency Priority Codes will be used.


1 - First Year	Complete within first year
2 - Second Funding Year	Complete during funding year 2
3 - Third Funding Year	Complete during funding year 3
4 - Fourth Funding Year	Complete during funding year 4
5 - Fifth Funding Year	Complete during funding year 5

This information, along with the Summary information, should allow for prioritizing the needs of each roof area and development of a maintenance and capital improvement budget.

Several items have been taken into consideration in establishing anticipated service life and budget estimates.

Service life estimates are based on data obtained through our field survey, historical experience and practical considerations of required repairs and the assumption that routine maintenance procedures, including annual inspections will be followed.



FAILED	POOR	FAIR	GOOD	
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE	

PROJECT KEY PLAN
NOT TO SCALE

5000-916 (708)



ROOF CONSULTING SERVICES, INC.
P.O. BOX 9747
RICHMOND, VIRGINIA 23228

* SURVEYS * SPECIFICATIONS * INSPECTIONS *

Date: 10/05/2023
Project: VILLAGE AT INDIAN CREEK
Address: 15371 RIVER VISTA DRIVE
NORTH FORT MYERS, FL

REVISIONS:			
MARK	DATE	BY:	DESCRIPTION

Roof System Condition Evaluation Report

Project Information

Facility Name: Village at Indian Creek
 15371 River Vista Drive
 North Fort Myers, FL

Contact: Sarah Nordin
Phone: (706) 224-8178 **Cell:** N/D
Email: Sarah.w.nordin@gmail.com

Total Roof Area Sq. Ft. (+/-): 71,834

Exterior Wall Type: Vinyl Siding

Year Building Built: 1986

Exterior Wall Condition: Fair

Building Use: Residential

Exterior Moisture Staining: None Observed



Roof Areas Summary

Roof Area Identification	Size (sq/ft)	Roof Type	Year Installed	Remaining Life (Yrs)	Roof Condition Code	Replace Year	Replacement Cost Estimate	Repair Cost Estimate
Bldg 1, Bldg 1 - Garage	9,675	Architectural Metal Panels	2013	14-16 +/-	Good	2038	\$182,000.00	\$5,700.00
Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	N/A
Bldg 3, Bldg 3 - Garage	9,532	Architectural Metal Panels	2013	14-16 +/-	Good	2038	\$179,300.00	\$6,050.00
Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C	8,772	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	N/A
Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	N/A
Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$500.00
Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$450.00

Roof System Condition Evaluation Report

Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$650.00
Totals	71,834	Sq Ft					\$1,351,300.00	\$13,350.00

Project Comments:

On Thursday, October 5, 2023, a comprehensive visual roof inspection was completed on Village at Indian Creek located at 15371 River Vista Drive, North Fort Myers, FL. The purpose of this inspection was document observed roof system deficiencies, determine the overall condition of the existing roof systems and to estimate the remaining service life of the in-place roof assemblies.

The installed roofing consists of the following roof system types that are in the overall condition as listed below:

- Bldg 1 & Bldg 1 - Garage - Architectural Metal Panels - Good - 14-16 +/- years of remaining service life - Repair Cost: \$5,700.00
- Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A
- Bldg 3, Bldg 3 - Garage - Architectural Metal Panels - Good - 14-16 +/- years of remaining service life - Repair Cost: \$6,050.00
- Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A
- Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A
- Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$500.00
- Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$450.00
- Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$650.00

For repairs on all roof areas, we have estimated a total repair cost of \$13,350.00. This repair cost estimate is based on all recommended repairs being completed under a single work order. In the event only selective items are repaired, then the estimated cost is subject to an increase in overall repair cost.

Please reference the Roof Area Information, Detailed Deficiency Listing, Photograph Documentation and Roof Plan drawing sections of this report for the detailed information pertaining to our findings and recommendations for corrective action.

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

Roof System Data

Area Name: Bldg 1, Bldg 1 - Garage	Year Installed: 2013	Active Leaks: None Reported
Size Sq. Ft. (+/-): 9,675	Remaining Service Life (Years): 14-16 +/-	Leak History: Unknown
Roof Elevation: 22' +/-	Average Roof System R Value: N/D	Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Good
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: None Observed

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Good
Parapet Wall Type: Vinyl Siding
Parapet Wall Condition: Fair
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetrations:	Quantity:
Soil Stacks: <input checked="" type="checkbox"/>	8
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	4
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	8

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No
Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	66 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	4	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Good

Roof Condition Code: Good

Recommendation: Repair

Replacement Year: 2038

Replacement Cost (+/-): \$182,000.00

Deficiencies Repair Cost: \$5,700.00

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 1 & Bldg 1 - Garage:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 66 LF of gutters and 4 downspouts. The existing roof system was reportedly installed in 2013. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is Good. Five (5) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance, the Owner should realize an additional 14-16 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 1, Bldg 1 - Garage

replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

Deficiency Priority Codes:

Current Year Priorities

E - Emergency

C - Critical

S - Significant

M - Minor

MN - Monitor

Future Year Maintenance

1 - First Year Funding

2 - Second Year Funding

3 - Third Year Funding

4 - Fourth Year Funding

5 - Fifth Year Funding

N/A - Not Applicable

No Correction Action
Required

Inspection Date: 10/5/2023

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	M	Deteriorated pipe flashing detail	8	\$300.00	\$2,400.00
		Remove existing flashing boot, remove deteriorated sealants from penetration and surrounding panel surface and clean, install new pre-manufactured flashing boot set in butyl non-curing sealant and secured at the perimeter flange 1-in. o.c. max	Locations		
2	M	Deteriorated previous sealant repairs at penetration flashing	8	\$350.00	\$2,800.00
		Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	Locations		
3	M	Tree limbs / branches overhanging roof surface	1	\$400.00	\$400.00
		Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	Location		
4	M	Loose, missing or rusted fasteners or deteriorated neoprene washers	2	\$50.00	\$100.00
		Remove and replace loose or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	Ea		

Grand Total **\$5,700.00**

Priority Code Totals:

Minor **\$5,700.00**

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

1. Building exterior front elevation overview



2. Building exterior front elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

3. Building exterior side elevation overview



4. Building exterior rear elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

5. Building exterior side elevation overview



6. Bldg 1 - Garage roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

7. Bldg 1 - Garage roof system overview



8. Bldg 1 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

9. Bldg 1 roof system overview



10. Bldg 1 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

11. Bldg 1 roof system overview



12. Bldg 1 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL
Roof Area - Bldg 1, Bldg 1 - Garage

13. Deficiency #1 - Deteriorated pipe flashing detail



14. Deficiency #1 - Deteriorated pipe flashing detail



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

15. Deficiency #2 - Deteriorated previous sealant repairs at penetration flashing



16. Deficiency #2 - Deteriorated previous sealant repairs at penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

17. Deficiency #3 - Tree limbs /
branches overhanging roof surface



18. Deficiency #3 - Tree limbs /
branches overhanging roof surface



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

19. Deficiency #4 - Loose, missing or rusted fasteners or deteriorated neoprene washers



20. Deficiency #4 - Loose, missing or rusted fasteners or deteriorated neoprene washers



10/5/2023

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

Roof System Data

Area Name: Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C Year Installed: 1993 Active Leaks: None Reported
Size Sq. Ft. (+/-): 8,771 Remaining Service Life (Years): 0-1 +/- Leak History: Unknown
Roof Elevation: 12' +/- Average Roof System R Value: N/D Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: None Observed

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetration Type	Quantity
Soil Stacks: <input checked="" type="checkbox"/>	12
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	3

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No

Item:

Size:

Material Type:

Quantity:

Condition:

Item	Size	Material Type	Quantity	Condition
Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	271 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	9	Fair

Drainage Comments: No ponding water observed during this inspection

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

% of Wet Roof Area:

Total Sq. Ft. of Wet Roof Area: Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: N/A

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 2 & Bldg 2 - Garages A - C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 271 LF of gutters and 9 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

Deficiency Priority Codes:	Current Year Priorities	Future Year Maintenance	N/A - Not Applicable
	E - Emergency	1 - First Year Funding	No Correction Action Required
	C -Critical	2 - Second Year Funding	
	S - Significant	3 - Third Year Funding	
	M - Minor	4 - Fourth Year Funding	
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	4		
		Address noted condition by / during recommended roof system replacement	Typical		
3	MN	Loose fasteners	49		
		Address noted condition by / during recommended roof system replacement	Each		
4	MN	Deteriorated previous sealant repairs at penetration flashing	12		
		Address noted condition by / during recommended roof system replacement	Locations		

Grand Total N/A

Priority Code Totals:

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

1. Building exterior front elevation overview



2. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

5. Bldg 2 - Garage A roof system overview



6. Bldg 2 - Garage A roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

7. Bldg 2 - Garage B roof system overview



8. Bldg 2 - Garage B roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

9. Bldg 2 - Garage B roof system overview



10. Bldg 2 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

11. Bldg 2 - Garage C roof system overview



12. Bldg 2 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

13. Bldg 2 roof system overview



14. Bldg 2 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

15. Bldg 2 roof system overview



16. Bldg 2 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

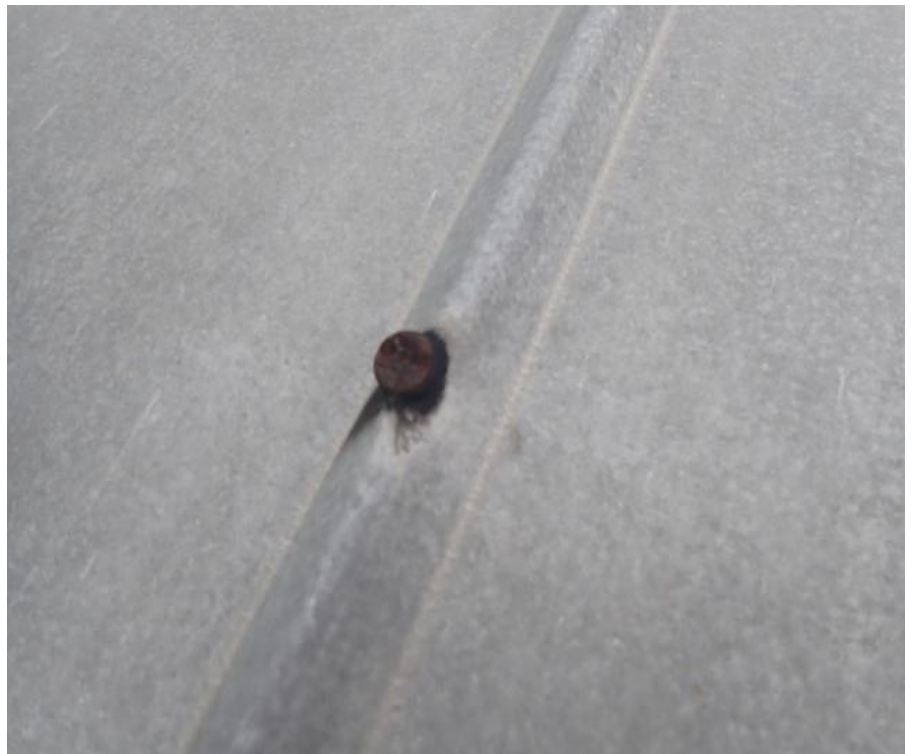
Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

17. Bldg 2 roof system overview



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners
(nails) used for primary securement
of metal panel assembly



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

19. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners
(nails) used for primary securement
of metal panel assembly



20. Deficiency #1 - Rusted fasteners

Deficiency #3 - Loose fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

21. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



22. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



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Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 3, Bldg 3 - Garage

Roof System Data

Area Name: Bldg 3, Bldg 3 - Garage	Year Installed: 2013	Active Leaks: None Reported
Size Sq. Ft. (+/-): 9,532	Remaining Service Life (Years): 14-16 +/-	Leak History: Unknown
Roof Elevation: 22' +/-	Average Roof System R Value: N/D	Leak Sensitivity: Normal

Roofing Contractor:	Guarantee Info:	Roof System:
Company: Unknown	Guarantee (Y/N): No	Roof System Type: Architectural Metal Panels
Contact: Unknown	Manufacturer: Unknown	Roof Membrane Type: 5V-Crimp Galvanized Panel
Phone: Unknown	Guarantee Term: N/A	Membrane Condition: Good
	Guarantee Number: N/A	Roof Surfacing Type: None
	Expiration Date: N/A	Recovery System: No

Roof Deck and Support Structure:	Vapor Retarder:	Maintenance Items:
Deck Type: Wood Sheathing	Vapor Retarder: No	Mechanical Damage: None Observed
Deck Thickness: N/D	Type: N/A	Chemical Exposure: None Observed
Roof Truss Type: N/D - No Access	Location: N/A	Roof Traffic: Yes - Service
Truss Height: N/D - No Access	Attachment: N/A	Debris: None Observed
Truss Span: N/D - No Access	Condition: N/A	
Truss Spacing: N/D - No Access	Relative Humidity: N/D	

Base Flashings:	Perimeter Types:	Penetrations:	Quantity:
Flashing Type: N/A	Gravel Stop Type: Pre-Finished Metal	Soil Stacks: <input checked="" type="checkbox"/>	4
Height: N/A	Gravel Stop Condition: Good	Exhaust Units: <input type="checkbox"/>	0
Coated: N/A	Parapet Wall Type: Vinyl Siding	Standard Curbs: <input checked="" type="checkbox"/>	4
Cant Strip Type: N/A	Parapet Wall Condition: Fair	Pipe Supports: <input type="checkbox"/>	0
Condition: N/A	Wall Coping Type: N/A	Pitch Pans: <input type="checkbox"/>	0
Securement: N/A	Wall Coping Condition: N/A	Roof Hatch: <input type="checkbox"/>	0
	Wall Coping Size: N/A	Hot Stacks: <input type="checkbox"/>	0
	Metal Coping Material Type: N/A	Skylights: <input type="checkbox"/>	0
	Metal Coping Quantity: N/A	Smoke Hatch: <input type="checkbox"/>	0
	Expansion Joint Type: N/A	Other: <input checked="" type="checkbox"/>	12
	Expansion Joint Condition: N/A		

Drainage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage: Good	Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Slope: 7 / 12 +/-	Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Ponding Water: No	Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	66 LF	Fair
Drainage Comments: No ponding water observed during this inspection	Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	4	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

N/A

% of Wet Roof Area:

N/A

Total Sq. Ft. of Wet Roof Area:

N/A

Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Good

Roof Condition Code: Good

Recommendation: Repair

Replacement Year: 2038

Replacement Cost (+/-): \$179,300.00

Deficiencies Repair Cost: \$6,050.00

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 3 & Bldg 3 - Garage:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 66 LF of gutters and 4 downspouts. The existing roof system was reportedly installed in 2013. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties. .

The overall condition of these roof areas is Good. Six (6) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance, the Owner should realize an additional 14-16 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 3, Bldg 3 - Garage

replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Deficiency Priority Codes:

Current Year Priorities

E - Emergency

C - Critical

S - Significant

M - Minor

MN - Monitor

Future Year Maintenance

1 - First Year Funding

2 - Second Year Funding

3 - Third Year Funding

4 - Fourth Year Funding

5 - Fifth Year Funding

N/A - Not Applicable

No Correction Action
Required

Inspection Date: 10/5/2023

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	M	Damaged drip edge	1	\$750.00	\$750.00
		Remove panel fasteners as required to facilitate removal of damaged panel and drip edge segment (10 linear feet). Remove and properly dispose of damaged components, furnish and install roof drip edge to match the existing, furnish and install new 5V-Crimp galvanized roof panel installed with new butyl non-curing sealant and hex head self-tapping fasteners which include a neoprene bonded washer installed per the manufacturer specified attachment rate.	Location		
2	MN	Damaged / dented metal panels	1		
		Condition addressed by corrective action #1 - no further repair action required	Location		
3	M	Tree limbs / branches overhanging roof surface	1	\$750.00	\$750.00
		Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	Location		
4	M	Deteriorated sealant application at pipe flashing detail	4	\$75.00	\$300.00
		Remove all loose / deteriorated sealant at the affected location, clean penetration, install water cut-off sealant inside top flange of flashing boot and reseal with industrial grade polyurethane sealant of a color to match existing	Locations		
5	M	Deteriorated previous sealant repairs at penetration flashing	12	\$350.00	\$4,200.00
		Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	Locations		

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Deficiency Priority Codes:	Current Year Priorities	Future Year Maintenance	N/A - Not Applicable
	E - Emergency	1 - First Year Funding	No Correction Action
	C -Critical	2 - Second Year Funding	Required
	S - Significant	3 - Third Year Funding	
	M - Minor	4 - Fourth Year Funding	
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
6	M	Loose fasteners	1	\$50.00	\$50.00
		Remove and replace loose, missing, or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	Ea		

Grand Total **\$6,050.00**

Priority Code Totals:

Minor **\$6,050.00**

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

1. Building exterior front elevation overview



2. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

5. Building exterior front elevation overview



6. Bldg 3 - Garage roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

7. Bldg 3 - Garage roof system overview



8. Bldg 3 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

9. Bldg 3 roof system overview



10. Bldg 3 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

11. Bldg 3 roof system overview



12. Bldg 3 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

13. Bldg 3 roof system overview



14. Deficiency #1 - Damaged drip edge

Deficiency #2 - Damaged / dented metal panels



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

15. Deficiency #3 - Tree limbs /
branches overhanging roof surface



16. Deficiency #3 - Tree limbs /
branches overhanging roof surface



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

17. Deficiency #4 - Deteriorated sealant application at pipe flashing detail



18. Deficiency #4 - Deteriorated sealant application at pipe flashing detail



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

19. Deficiency #5 - Deteriorated previous sealant repairs at penetration flashing



20. Deficiency #5 - Deteriorated previous sealant repairs at penetration flashing



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

21. Deficiency #6 - Loose fasteners



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Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

Roof System Data

Area Name: Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

Year Installed: 1993

Active Leaks: None Reported

Size Sq. Ft. (+/-): 8,772

Remaining Service Life (Years): 0-1 +/-

Leak History: Unknown

Roof Elevation: 12' +/-

Average Roof System R Value: N/D

Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: None Observed

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetration Type	Quantity
Soil Stacks: <input checked="" type="checkbox"/>	12
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	2

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No

Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Item	Size	Material Type	Quantity	Condition
Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	345 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	10	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

% of Wet Roof Area:

Total Sq. Ft. of Wet Roof Area: Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: N/A

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 4, Bldg 4 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 345 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

Deficiency Priority Codes:	Current Year Priorities	Future Year Maintenance	N/A - Not Applicable
	E - Emergency	1 - First Year Funding	No Correction Action
	C -Critical	2 - Second Year Funding	Required
	S - Significant	3 - Third Year Funding	
	M - Minor	4 - Fourth Year Funding	
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	4		
		Address noted condition by / during recommended roof system replacement	Ea		
3	MN	Loose fasteners	51		
		Address noted condition by / during recommended roof system replacement	Each		
4	MN	Deteriorated previous sealant repairs at penetration flashing	14		
		Address noted condition by / during recommended roof system replacement	Locations		

Grand Total N/A

Priority Code Totals:

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

1. Building exterior front elevation overview



2. Building exterior side elevation overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

5. Building exterior front elevation overview



6. Bldg 4 - Garage A roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

7. Bldg 4 - Garage A roof system overview



8. Bldg 4 - Garage B roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

9. Bldg 4 - Garage B roof system overview



10. Bldg 4 - Garage B roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

11. Bldg 4 - Garage C roof system overview



12. Bldg 4 - Garage C roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

13. Bldg 4 - Garage C roof system overview



14. Bldg 4 roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

15. Bldg 4 roof system overview



16. Bldg 4 roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

17. Bldg 4 roof system overview



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners
(nails) used for primary securement
of metal panel assembly



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

19. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners
(nails) used for primary securement
of metal panel assembly



20. Deficiency #3 - Loose fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

21. Deficiency #3 - Loose fasteners



22. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

23. Deficiency #4 - Deteriorated
previous sealant repairs at
penetration flashing



10/5/2023

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

Roof System Data

Area Name: Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C Year Installed: 1993 Active Leaks: None Reported
Size Sq. Ft. (+/-): 8,771 Remaining Service Life (Years): 0-1 +/- Leak History: Unknown
Roof Elevation: 12' +/- Average Roof System R Value: N/D Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: None Observed

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetration Type	Quantity
Soil Stacks: <input checked="" type="checkbox"/>	12
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	2

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No
Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Item	Size	Material Type	Quantity	Condition
Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	378 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	10	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies: N/A

% of Wet Roof Area: N/A

Total Sq. Ft. of Wet Roof Area: N/A Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: N/A

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 5 & Bldg 5 Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 378 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Six (6) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

Deficiency Priority Codes:	Current Year Priorities	Future Year Maintenance	N/A - Not Applicable
	E - Emergency	1 - First Year Funding	No Correction Action Required
	C - Critical	2 - Second Year Funding	
	S - Significant	3 - Third Year Funding	
	M - Minor	4 - Fourth Year Funding	
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	1		
		Address noted condition by / during recommended roof system replacement	Typical		
3	MN	Loose fasteners	43		
		Address noted condition by / during recommended roof system replacement	Ea		
4	MN	Deteriorated previous sealant repairs at penetration flashing	14		
		Address noted condition by / during recommended roof system replacement	Locations		
5	MN	Rust development on metal panel	2		
		Address noted condition by / during recommended roof system replacement	Sq Ft		
6	MN	Damaged / dented metal panels	7		
		Address noted condition by / during recommended roof system replacement	Locations		

Grand Total N/A

Priority Code Totals:

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

1. Building exterior front elevation overview



2. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

5. Bldg 5 - Garage A roof system overview



6. Bldg 5 - Garage B roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

7. Bldg 5 - Garage B roof system overview



8. Bldg 5 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

9. Bldg 5 - Garage C roof system overview



10. Bldg 5 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

11. Bldg 5 roof system overview



12. Bldg 5 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

13. Bldg 5 roof system overview



14. Bldg 5 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

15. Bldg 5 roof system overview



16. Bldg 5 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

17. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly

Deficiency #3 - Loose fasteners



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly

Deficiency #3 - Loose fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

19. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



20. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

21. Deficiency #5 - Rust development on metal panel



22. Deficiency #5 - Rust development on metal panel



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

23. Deficiency #6 - Damaged /
dented metal panels



24. Deficiency #6 - Damaged /
dented metal panels



10/5/2023

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Roof System Data

Area Name: Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Year Installed: 1993

Active Leaks: None Reported

Size Sq. Ft. (+/-): 8,771

Remaining Service Life (Years): 0-1 +/-

Leak History: Unknown

Roof Elevation: 12' +/-

Average Roof System R Value: N/D

Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: Yes - Roof Surface

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetration Type	Quantity
Soil Stacks: <input checked="" type="checkbox"/>	8
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	6

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No
Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	313 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	11	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

% of Wet Roof Area:

Total Sq. Ft. of Wet Roof Area: Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: \$500.00

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 6 & Bldg 6 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 313 LF of gutters and 11 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Five (5) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the noted

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

deficiencies has been limited to addressing one area of open flashing within the drainage plane of the garage structures, and removing organic debris from the gutter drainage system to allow proper drainage of the roof system until time that the replacement is completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Deficiency Priority Codes:

Current Year Priorities

E - Emergency

C - Critical

S - Significant

M - Minor

MN - Monitor

Future Year Maintenance

1 - First Year Funding

2 - Second Year Funding

3 - Third Year Funding

4 - Fourth Year Funding

5 - Fifth Year Funding

N/A - Not Applicable

No Correction Action
Required

Inspection Date: 10/5/2023

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Loose fasteners	73		
		Address noted condition by / during recommended roof system replacement	Ea		
2	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
3	MN	Deteriorated previous sealant repairs at penetration flashing	13		
		Address noted condition by / during recommended roof system replacement	Locations		
4	M	Debris in gutter	20	\$7.50	\$150.00
		Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	LnFt		
5	M	Open condition at valley flashing	2	\$175.00	\$350.00
		To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi-course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	LnFt		

Grand Total **\$500.00**

Priority Code Totals:

Minor

\$500.00

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

1. Building exterior front elevation overview



2. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

5. Bldg 6 - Garage A roof system overview



6. Bldg 6 - Garage A roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

7. Bldg 6 - Garage B roof system overview



8. Bldg 6 - Garage B roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

9. Bldg 6 - Garage B roof system overview



10. Bldg 6 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

11. Bldg 6 - Garage C roof system overview



12. Bldg 6 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

13. Bldg 6 roof system overview



14. Bldg 6 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

15. Bldg 6 roof system overview



16. Bldg 6 roof system overview



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Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

17. Bldg 6 roof system overview



18. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

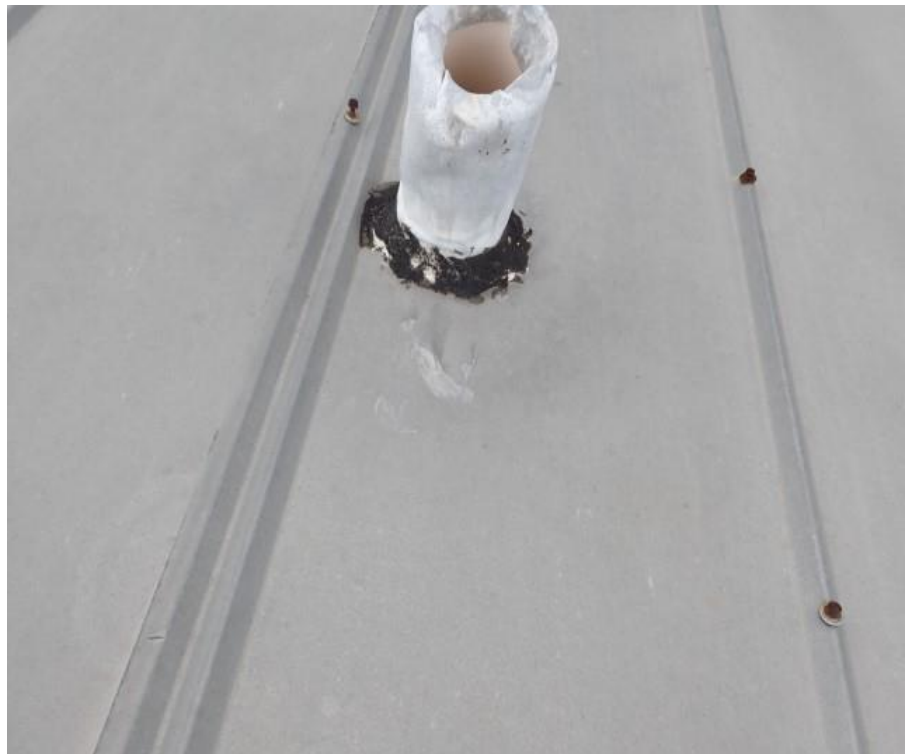
Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

19. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners



20. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

21. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing



22. Deficiency #4 - Debris in gutter



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

23. Deficiency #4 - Debris in gutter



24. Deficiency #5 - Open conditions
at gravel stop



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

25. Deficiency #5 - Open condition
at valley flashing



10/5/2023

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

Roof System Data

Area Name: Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

Year Installed: 1993

Active Leaks: None Reported

Size Sq. Ft. (+/-): 8,771

Remaining Service Life (Years): 0-1 +/-

Leak History: Unknown

Roof Elevation: 12' +/-

Average Roof System R Value: N/D

Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: None Observed

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Penetration Type	Quantity
Soil Stacks: <input checked="" type="checkbox"/>	9
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	6

Counter Flashing:

Reglet Joint: Surface Mount:
Thru Wall: Term Bar:
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No

Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Item	Size	Material Type	Quantity	Condition
Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	420 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	10	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies: N/A

% of Wet Roof Area: N/A

Total Sq. Ft. of Wet Roof Area: N/A Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: \$450.00

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 8 & Bldg 8 - Garages A - C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 420 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

noted deficiencies has been limited to repair of exterior envelope conditions not directly related to the roof system to be replaced. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 -
Garage C

Deficiency Priority Codes:

Current Year Priorities

E - Emergency
C - Critical
S - Significant
M - Minor
MN - Monitor

Future Year Maintenance

1 - First Year Funding
2 - Second Year Funding
3 - Third Year Funding
4 - Fourth Year Funding
5 - Fifth Year Funding

N/A - Not Applicable

No Correction Action
Required

Inspection Date: 10/5/2023

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	MN	Loose fasteners	33		
		Address noted condition by / during recommended roof system replacement	Ea		
2	MN	Rusted fasteners	4		
		Remove and replace missing or rusted fasteners with new hex head fasteners with neoprene bonded washers	Typical		
3	MN	Deteriorated previous sealant repairs at penetration flashing	15		
		Address noted condition by / during recommended roof system replacement	Locations		
4	M	Damaged vinyl siding	2	\$225.00	\$450.00
		Remove damaged section of vinyl siding and replace with new to match existing type, color, and profile	Locations		

Grand Total **\$450.00**

Priority Code Totals:

Minor

\$450.00

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

1. Building exterior front elevation overview



2. Building exterior front elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

3. Building exterior side elevation
overview



4. Building exterior rear elevation
overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

5. Building exterior side elevation overview



6. Bldg 8 - Garage A roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

7. Bldg 8 - Garage B roof system overview



8. Bldg 8 - Garage B roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

9. Bldg 8 - Garage B roof system overview



10. Bldg 8 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

11. Bldg 8 - Garage C roof system overview



12. Bldg 8 - Garage C roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

13. Bldg 8 roof system overview



14. Bldg 8 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

15. Bldg 8 roof system overview



16. Bldg 8 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

17. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners



18. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

19. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing



20. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive

North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

21. Deficiency #4 - Damaged vinyl siding



22. Deficiency #4 - Damaged vinyl siding



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

23. Bldg 8 roof system overview



10/5/2023

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Roof System Data

Area Name: Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C
Year Installed: 1993
Active Leaks: None Reported
Size Sq. Ft. (+/-): 8,771
Remaining Service Life (Years): 0-1 +/-
Leak History: Unknown
Roof Elevation: 12' +/-
Average Roof System R Value: N/D
Leak Sensitivity: Normal

Roofing Contractor:

Company: Unknown
Contact: Unknown
Phone: Unknown

Guarantee Info:

Guarantee (Y/N): No
Manufacturer: Unknown
Guarantee Term: N/A
Guarantee Number: N/A
Expiration Date: N/A

Roof System:

Roof System Type: Architectural Metal Panels
Roof Membrane Type: 5V-Crimp Galvanized Panel
Membrane Condition: Failed
Roof Surfacing Type: None
Recovery System: No

Roof Deck and Support Structure:

Deck Type: Wood Sheathing
Deck Thickness: N/D
Roof Truss Type: N/D - No Access
Truss Height: N/D - No Access
Truss Span: N/D - No Access
Truss Spacing: N/D - No Access

Vapor Retarder:

Vapor Retarder: No
Type: N/A
Location: N/A
Attachment: N/A
Condition: N/A
Relative Humidity: N/D

Maintenance Items:

Mechanical Damage: None Observed
Chemical Exposure: None Observed
Roof Traffic: Yes - Service
Debris: Yes - Gutters

Base Flashings:

Flashing Type: N/A
Height: N/A
Coated: N/A
Cant Strip Type: N/A
Condition: N/A
Securement: N/A

Perimeter Types:

Gravel Stop Type: Pre-Finished Metal
Gravel Stop Condition: Fair
Parapet Wall Type: N/A
Parapet Wall Condition: N/A
Wall Coping Type: N/A
Wall Coping Condition: N/A
Wall Coping Size: N/A
Metal Coping Material Type: N/A
Metal Coping Quantity: N/A
Expansion Joint Type: N/A
Expansion Joint Condition: N/A

Penetrations:

Quantity:

Soil Stacks: <input checked="" type="checkbox"/>	9
Exhaust Units: <input type="checkbox"/>	0
Standard Curbs: <input checked="" type="checkbox"/>	3
Pipe Supports: <input type="checkbox"/>	0
Pitch Pans: <input type="checkbox"/>	0
Roof Hatch: <input type="checkbox"/>	0
Hot Stacks: <input type="checkbox"/>	0
Skylights: <input type="checkbox"/>	0
Smoke Hatch: <input type="checkbox"/>	0
Other: <input checked="" type="checkbox"/>	6

Counter Flashing:

Reglet Joint: **Surface Mount:**
Thru Wall: **Term Bar:**
CF Metal Type: N/A

Drainage:

Drainage: Good
Slope: 7 / 12 +/-
Ponding Water: No
Drainage Comments: No ponding water observed during this inspection

Item:

Size:

Material Type:

Quantity:

Condition:

Roof Drains: <input type="checkbox"/>	N/A	N/A	0	N/A
Scuppers: <input type="checkbox"/>	N/A	N/A	N/A	N/A
Gutters: <input checked="" type="checkbox"/>	4" x 4"	Aluminum	342 LF	Fair
Downspouts: <input checked="" type="checkbox"/>	3" x 4"	Aluminum	9	Fair

Roof Area Information For:

Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Asbestos Material Testing:

Performed:

Membrane: No

Flashing: No

Repairs: No

Other: No

Results:

Membrane: N/A

Flashing: N/A

Repairs: N/A

Other: N/A

Required:

Membrane: No

Flashing: No

Repairs: No

Other: No

Roof Moisture Survey:

Moisture Survey Completed: No

Results: N/A

Number of Anomalies:

% of Wet Roof Area:

Total Sq. Ft. of Wet Roof Area: Sq. Ft.

Roof System Composition

Layer No	Layer Type	Thickness	Attachment	Condition
1	Wood Sheathing	N/D	Mechanical	Not Determined
2	Panel Underlayment (Type N/D)	N/D	Mechanical	Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	Mechanical	Poor

Roof Condition Code: Failed

Recommendation: Replacement

Replacement Year: 2024

Replacement Cost (+/-): \$165,000.00

Deficiencies Repair Cost: \$650.00

Budget Notes:

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 10 & Bldg 10 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 342 LF of gutters and 9 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Seven (7) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the

Roof Area Information For:

**Village at Indian Creek
15371 River Vista Drive
North Fort Myers, FL**

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

noted deficiencies has been limited to addressing one area of open flashing within the drainage plane of the garage structures, and removing organic debris from the gutter drainage system to allow proper drainage of the roof system until time that the replacement is completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Deficiency Priority Codes:

Current Year Priorities

E - Emergency
C - Critical
S - Significant
M - Minor
MN - Monitor

Future Year Maintenance

1 - First Year Funding
2 - Second Year Funding
3 - Third Year Funding
4 - Fourth Year Funding
5 - Fifth Year Funding

N/A - Not Applicable

No Correction Action
Required

Inspection Date: 10/5/2023

Inspectors: Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
1	M	Debris in gutter	20	\$7.50	\$150.00
		Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	LnFt		
2	MN	Loose fasteners	56		
		Address noted condition by / during recommended roof system replacement	Ea		
3	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
4	MN	Deteriorated previous sealant repairs at penetration flashing	12		
		Address noted condition by / during recommended roof system replacement	Locations		
5	MN	Missing end cap on gutter	1		
		Address noted condition by / during recommended roof system replacement	Location		
6	MN	Severely deteriorated flashing membrane in roof valley / drainage plane	1		
		Address noted condition by / during recommended roof system replacement	Typical		
7	M	Open condition at valley flashing	4	\$125.00	\$500.00
		To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi-course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	LnFt		

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Deficiency Priority Codes:	Current Year Priorities	Future Year Maintenance	N/A - Not Applicable
	E - Emergency	1 - First Year Funding	No Correction Action
	C -Critical	2 - Second Year Funding	Required
	S - Significant	3 - Third Year Funding	
	M - Minor	4 - Fourth Year Funding	
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 **Inspectors:** Efren Villeda

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		

Grand Total **\$650.00**

Priority Code Totals:

Minor **\$650.00**

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

1. Building exterior front elevation overview



2. Building exterior front elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

3. Building exterior side elevation overview



4. Building exterior rear elevation overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

5. Building exterior side elevation overview



6. Bldg 10 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

7. Bldg 10 roof system overview



8. Bldg 10 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

9. Bldg 10 roof system overview



10. Bldg 10 roof system overview



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

11. Bldg 10 roof system overview



12. Bldg 10 roof system overview



10/5/2023

Photograph Documentation

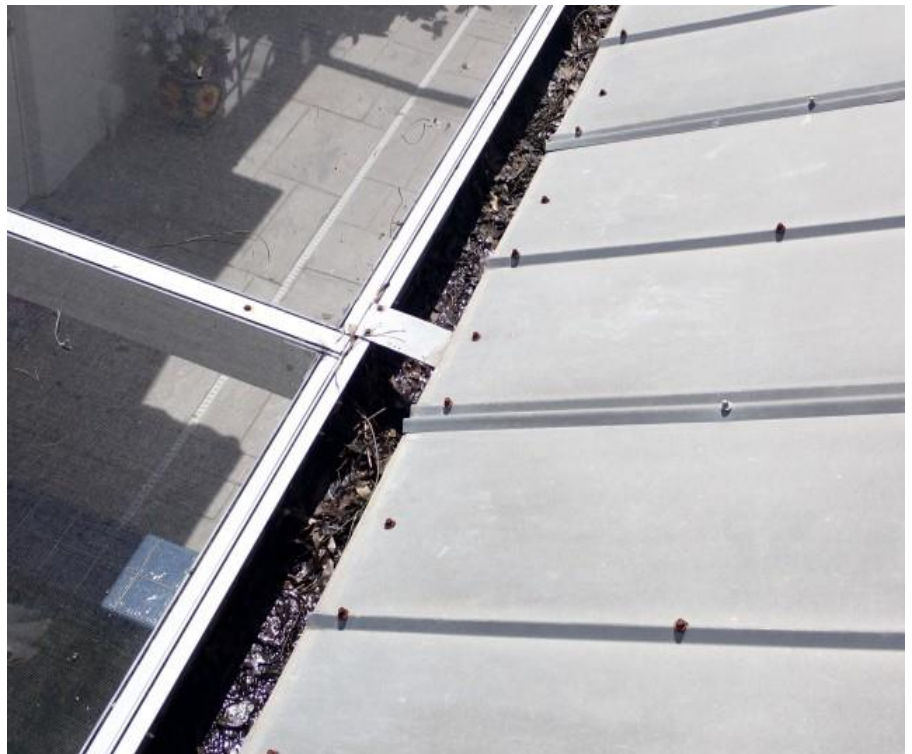
Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

13. Deficiency #1 - Debris in gutter



14. Deficiency #1 - Debris in gutter



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

15. Deficiency #2 - Loose fasteners

Deficiency #3 - Rusted fasteners



16. Deficiency #2 - Loose fasteners

Deficiency #3 - Rusted fasteners



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

17. Deficiency #4 - Deteriorated
previous sealant repairs at
penetration flashing



18. Deficiency #4 - Deteriorated
previous sealant repairs at
penetration flashing



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

19. Deficiency #5 - Missing end cap on gutter



20. Deficiency #6 - Severely deteriorated flashing membrane in roof valley / drainage plane



10/5/2023

Photograph Documentation

Village at Indian Creek - 15371 River Vista Drive
North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

21. Deficiency #6 - Severely deteriorated flashing membrane in roof valley / drainage plane



22. Deficiency #7 - Open condition at valley flashing



10/5/2023

Village of Indian Creek (HOA)

Contractor Name: _____

Sarah Nordin

Office: _____

Tel: (706) 224-8178

Cell: _____

Sarah.w.nordin@gmail.com

E-Mail _____

Please complete the bid form in full providing a price for each item listed and submit your bid via email to the facility manager. Please contact RCS with any questions you may have.

It is the contractor's responsibility to visit the project site prior to submitting their bid to fully inform themselves as to the location and overall quantity of work required. By submitting your bid, it shall be expected that all repairs shall be completed as outlined below and at the locations indicated on the roof plan drawings. All work must be completed to the satisfaction of the Owner, according to roof repair standards within the industry and with compatible roofing materials. Prior to final payment being made.

Note: The deficient condition numbering system listed below corresponds to the deficiency numbers used on the roof plan drawings for those items bids are being requested for.

Roof Repair Bid Form:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Bldg 1, Bldg 1 - Garage

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	PROPOSED REPAIR COST
		DEFICIENCY SOLUTION	UNITS	
1	M	Deteriorated pipe flashing detail Remove existing flashing boot, remove deteriorated sealants from penetration and surrounding panel surface and clean, install new pre-manufactured flashing boot set in butyl non-curing sealant and secured at the perimeter flange 1-in. o.c. max	8 Locations	\$
2	M	Deteriorated previous sealant repairs at penetration flashing Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	8 Locations	\$
3	M	Tree limbs / branches overhanging roof surface Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	1 Location	\$

Roof Repair Bid Form:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

4	M	Loose, missing or rusted fasteners or deteriorated neoprene washers	2 Ea	\$
Remove and replace loose or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers				

Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION	QUANTITY UNITS	PROPOSED REPAIR COST
1	M	Debris in gutter Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	20 LnFt	\$
7	M	Open condition at valley flashing To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi-course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	4 LnFt	\$

Bldg 3, Bldg 3 - Garage

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION	QUANTITY UNITS	PROPOSED REPAIR COST
1	M	Damaged drip edge Remove panel fasteners as required to facilitate removal of damaged panel and drip edge segment (10 linear feet). Remove and properly dispose of damaged components, furnish and install roof drip edge to match the existing, furnish and install new 5V-Crimp galvanized roof panel installed with new butyl non-curing sealant and hex head self-tapping fasteners which include a neoprene bonded washer installed per the manufacturer specified attachment rate.	1 Location	\$
3	M	Tree limbs / branches overhanging roof surface Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	1 Location	\$

Roof Repair Bid Form:
Village at Indian Creek
15371 River Vista Drive - North Fort Myers, FL

4	M	Deteriorated sealant application at pipe flashing detail <hr/> Remove all loose / deteriorated sealant at the affected location, clean penetration, install water cut-off sealant inside top flange of flashing boot and reseal with industrial grade polyurethane sealant of a color to match existing	4 Locations	\$
5	M	Deteriorated previous sealant repairs at penetration flashing <hr/> Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	12 Locations	\$
6	M	Loose fasteners <hr/> Remove and replace loose, missing, or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	1 Ea	\$

Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	PROPOSED REPAIR COST
		DEFICIENCY SOLUTION	UNITS	
4	M	Debris in gutter <hr/> Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	20 LnFt	\$
5	M	Open condition at valley flashing <hr/> To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi-course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	2 LnFt	\$

Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	PROPOSED REPAIR COST
		DEFICIENCY SOLUTION	UNITS	
4	M	Damaged vinyl siding <hr/> Remove damaged section of vinyl siding and replace with new to match existing type, color, and profile	2 Locations	\$

Roof Repair Bid Form:
Village at Indian Creek
15371 River Vista Drive - North Fort Myers, FL

Contractor
Name: _____

Contact: _____

Phone: _____

Total Proposed Bid: **\$** _____

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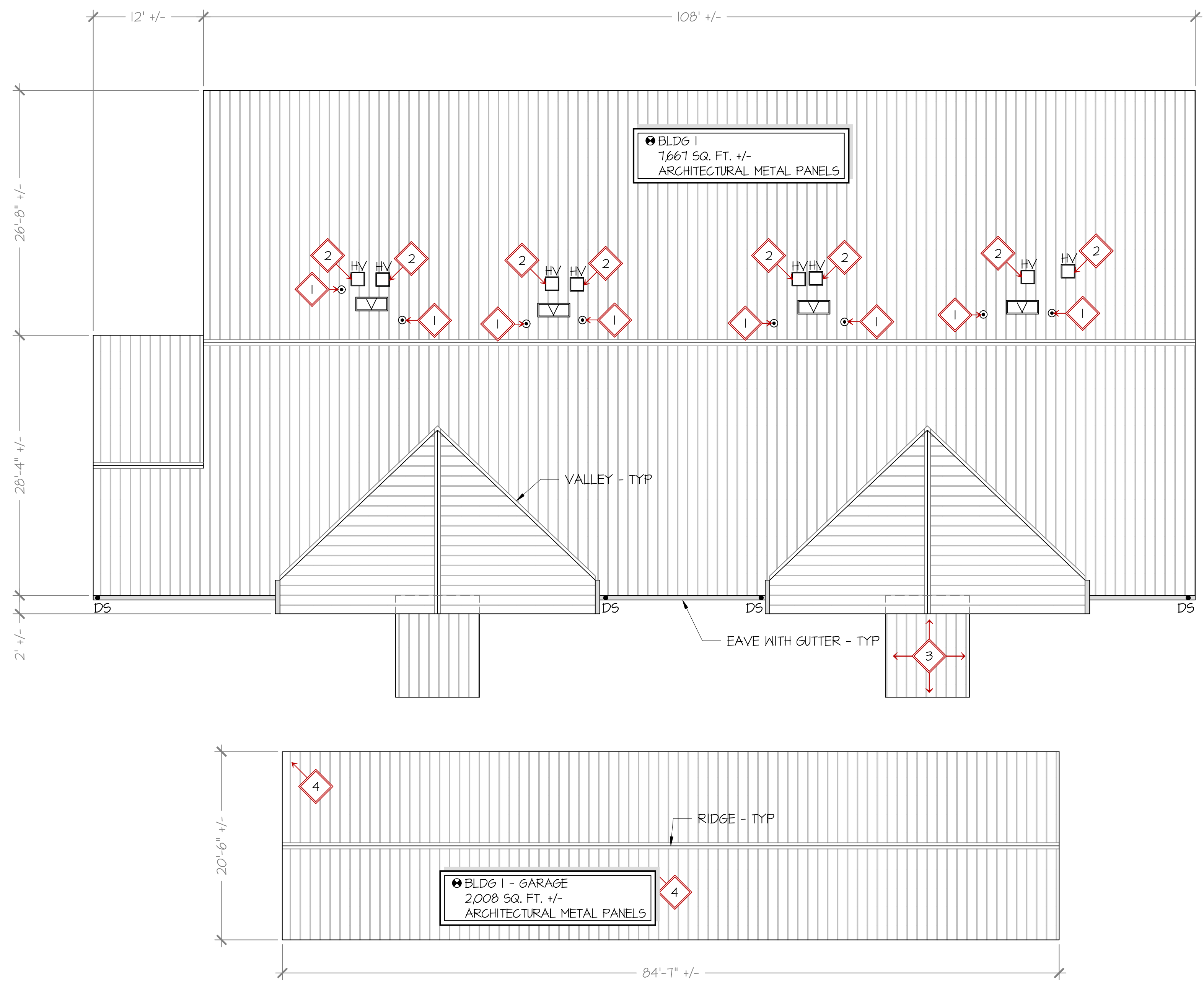
SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- HV HOOK VENT
- V SQUARE VENT
- ⬠ ## DEFICIENCY LOCATION / NO.

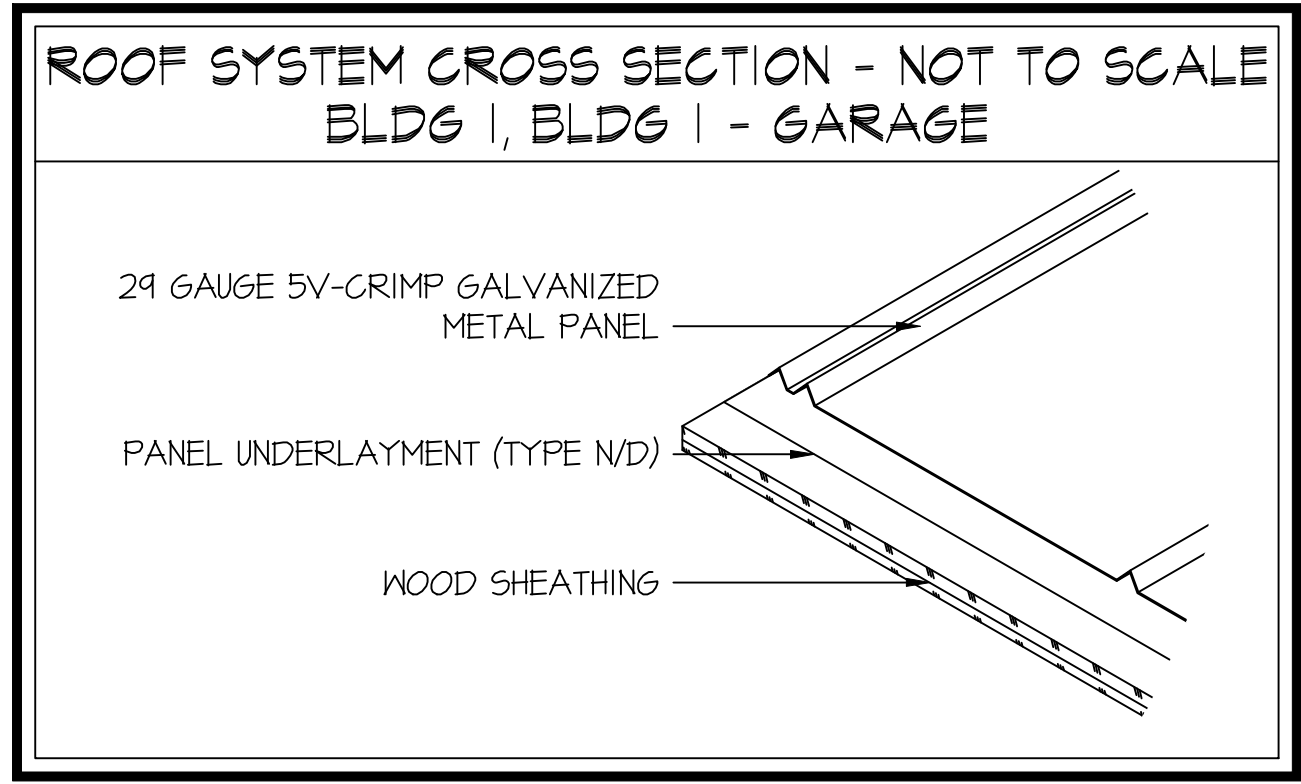
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

DEFICIENCY LIST - BUILDING 1

- 1 DETERIORATED PIPE FLASHING DETAIL
- 2 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- 3 TREE LIMBS / BRANCHES OVERHANGING ROOF SURFACE
- 4 LOOSE, MISSING OR RUSTED FASTENERS OR DETERIORATED NEOPRENE WASHERS



I TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
AI SCALE: 1/8"=1'-0"



KEY PLAN - NOT TO SCALE

FAILED	POOR	FAIR	GOOD
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

ros ROOF CONSULTING SERVICES, INC
P.O. BOX 9747
RICHMOND, VIRGINIA 23220

(804) 515-0885

* SURVEYS * SPECIFICATIONS * INSPECTIONS *

DATE:
10/05/2023

DRAWN BY:
V.B.M.

SCALE:
1/8"=1'-0"

CHECKED BY:
W.D.S. JR.

VISUAL INSPECTION

CLIENT: VILLAGE OF INDIAN CREEK (HOA)

PROJECT: VILLAGE AT INDIAN CREEK

ADDRESS: 15371 RIVER VISTA DRIVE

NORTH FORT MYERS, FL

DRAWING: ROOF PLAN

\\T640SERVER\ROSSERVER\DWG\CLIENT INSPECTION DRAWINGS BY CS\12338-443762-6 T111044.DWG

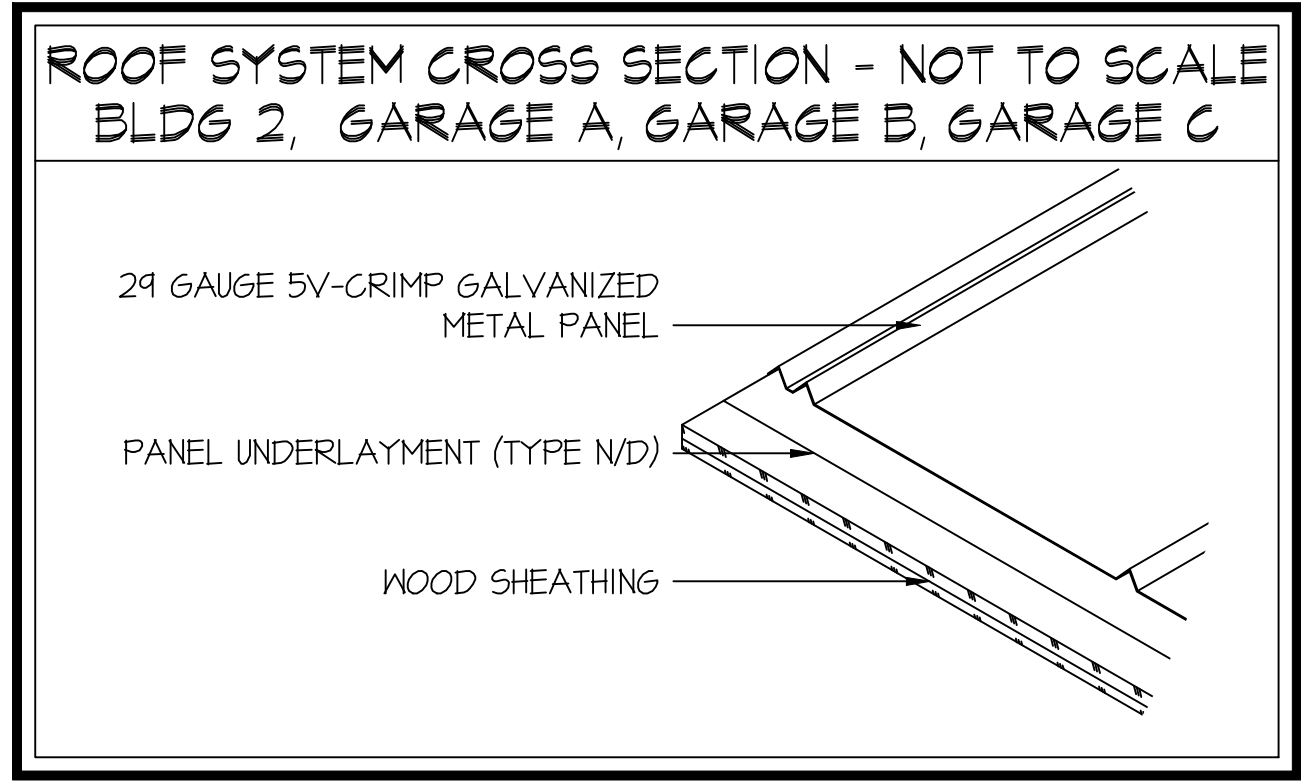
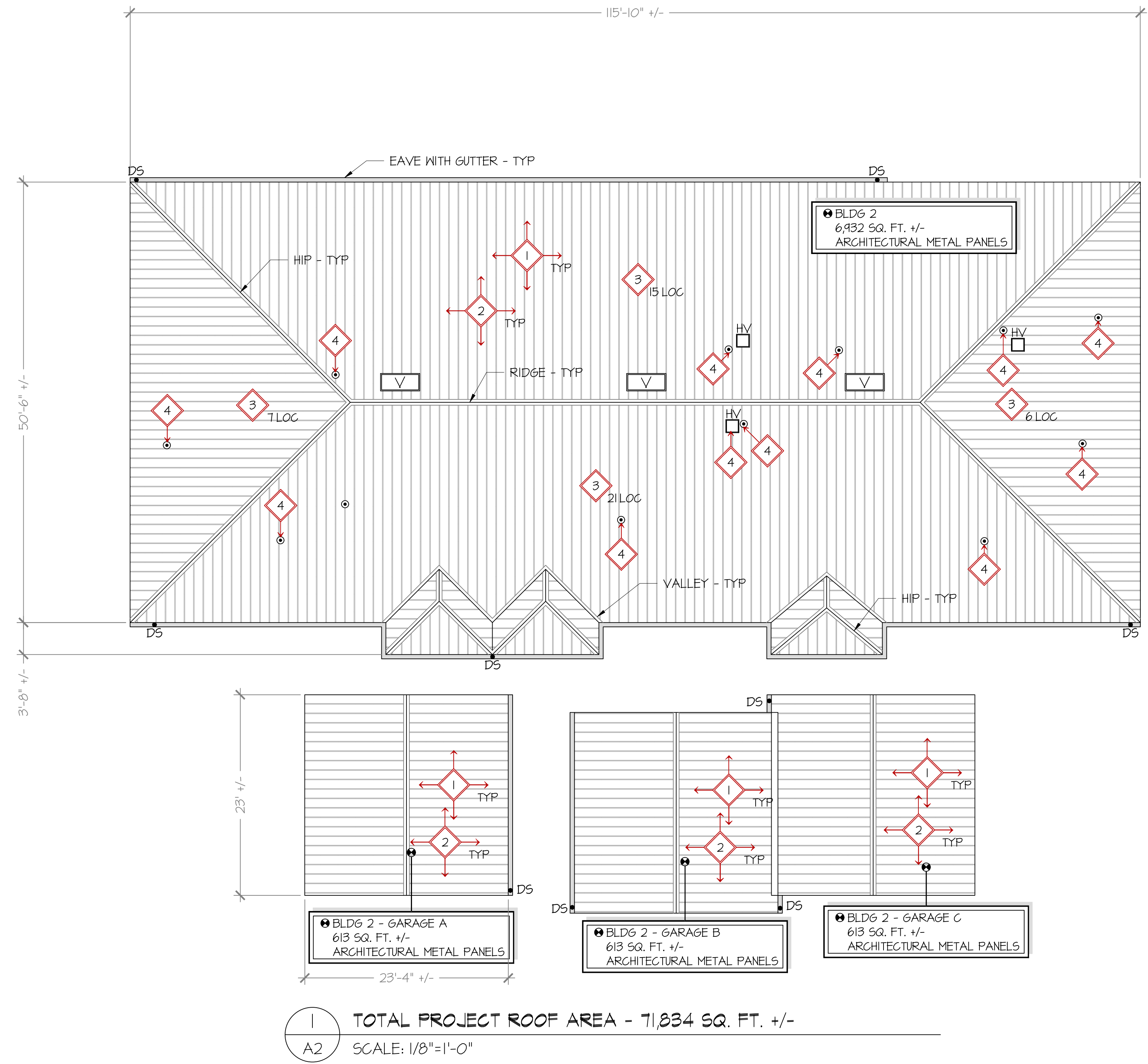
SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- ◻ HV HOOK VENT
- ◻ V SQUARE VENT
- ⬅️ ## DEFICIENCY LOCATION / NO.

NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

DEFICIENCY LIST - BUILDING 2

- 1 RUSTED FASTENERS
- 2 IMPROPER FASTENERS (NAILS) USED FOR PRIMARY SECUREMENT OF METAL PANEL ASSEMBLY
- 3 LOOSE FASTENERS
- 4 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING



KEY PLAN - NOT TO SCALE

0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE
FAILED	POOR	FAIR	GOOD

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(804) 515-0885

* SURVEYS * SPECIFICATIONS * INSPECTIONS *

DATE:
10/05/2023

DRAWN BY:
V.B.M.

SCALE:
1/8"=1'-0"

CHECKED BY:
W.D.S. JR.

VISUAL INSPECTION

CLIENT: VILLAGE OF INDIAN CREEK (HOA)

PROJECT: VILLAGE AT INDIAN CREEK

ADDRESS: 15371 RIVER VISTA DRIVE

NORTH FORT MYERS, FL

DRAWING: ROOF PLAN

A2

\\T640SERVER\ROSSERVER\DWG\CLIENT INSPECTION DRAWINGS BY CS\12338-993762-6 T111099.DWG

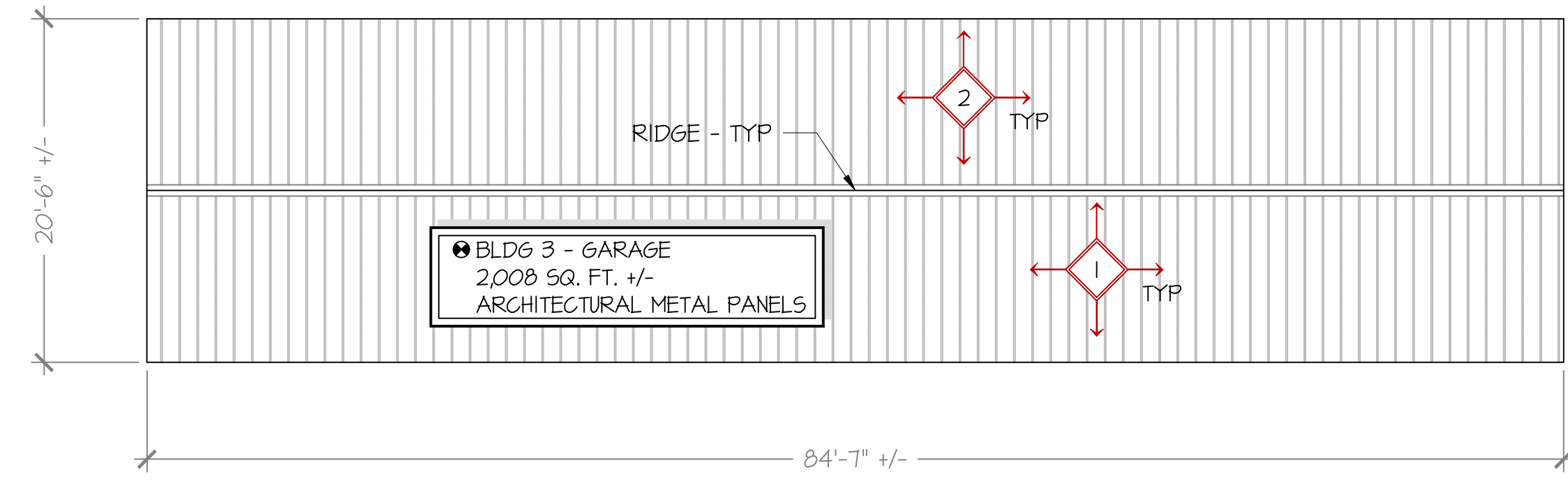
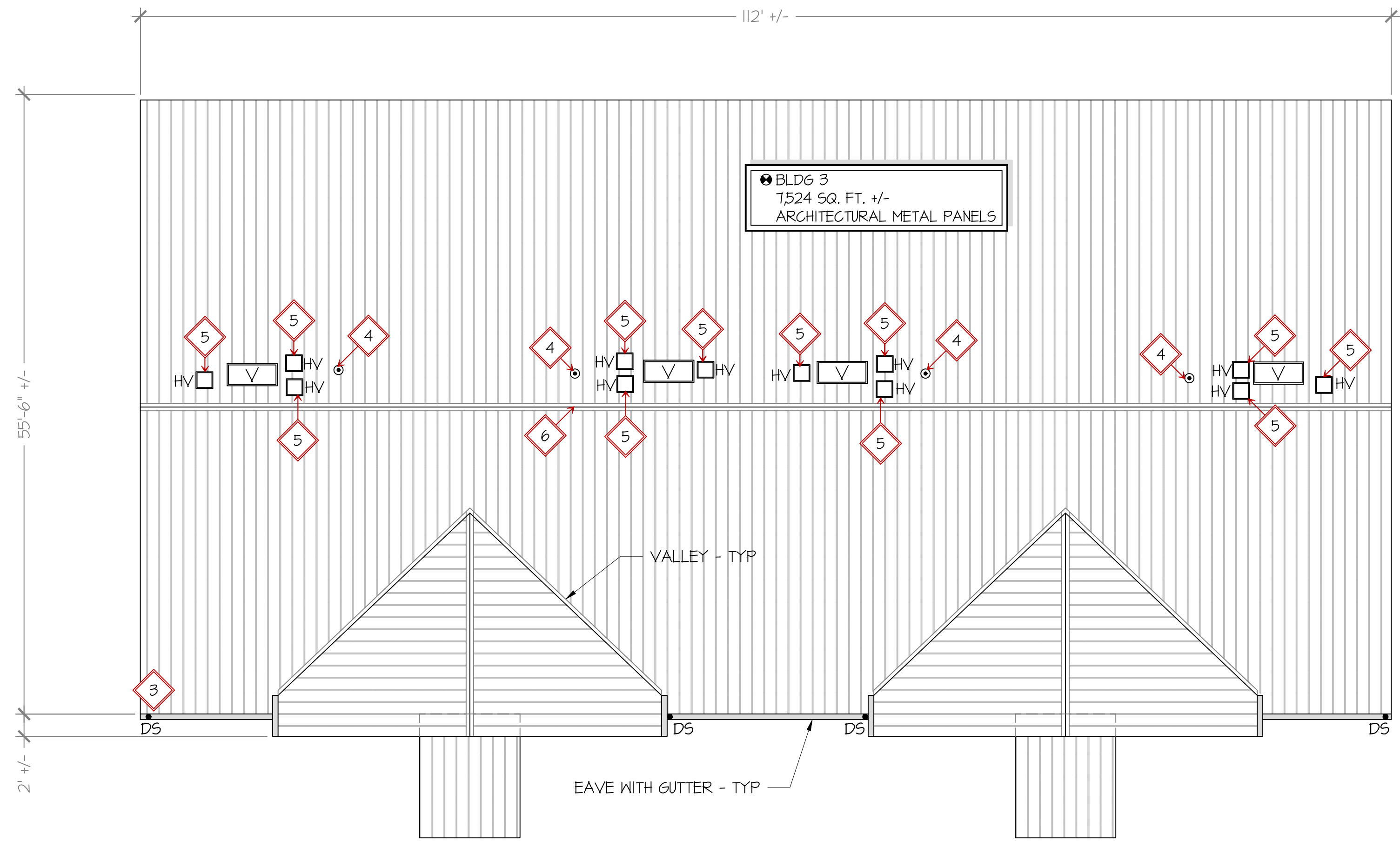
SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- HV HOOK VENT
- V SQUARE VENT
- ◆ ## DEFICIENCY LOCATION / NO.

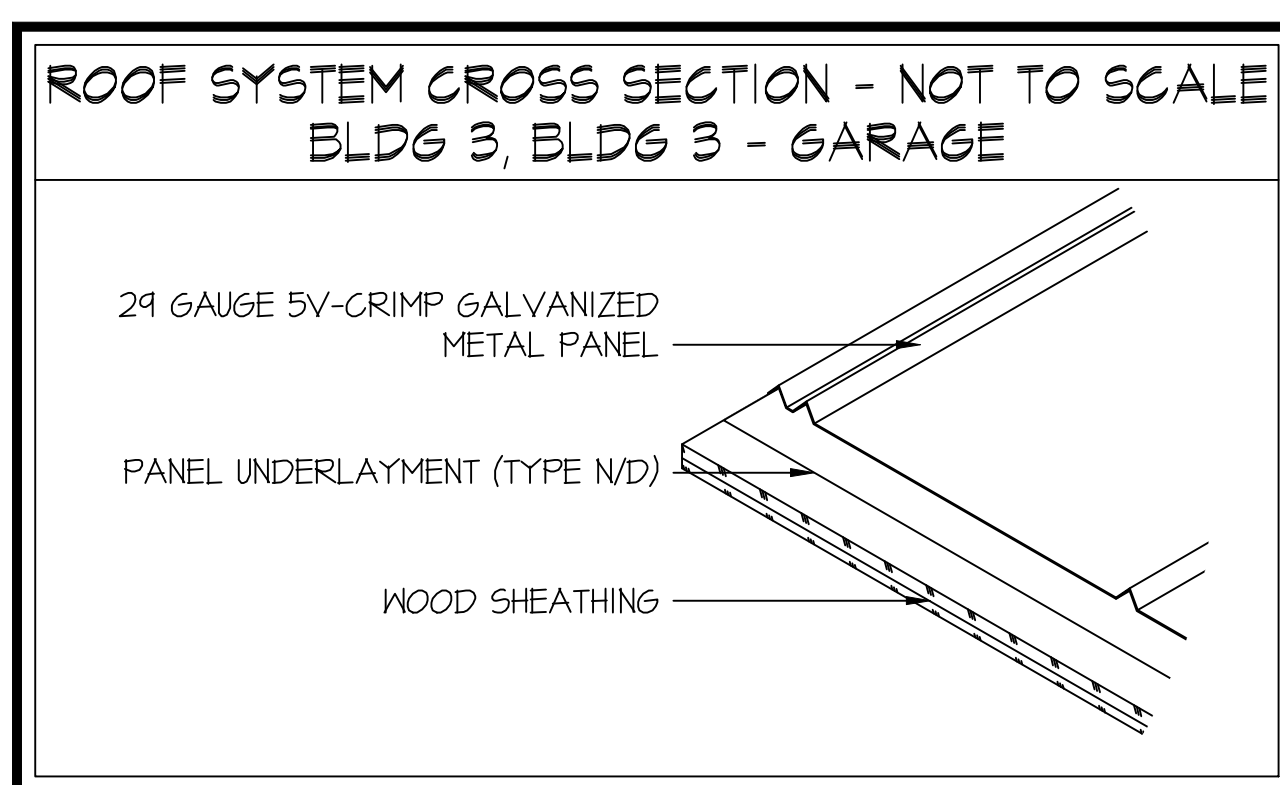
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

DEFICIENCY LIST - BUILDING 3

- ◆ 1 DAMAGED DRIP EDGE
- ◆ 2 DAMAGED / DENTED METAL PANELS
- ◆ 3 TREE LIMBS / BRANCHES OVERHANGING ROOF SURFACE
- ◆ 4 DETERIORATED SEALANT APPLICATION AT PIPE FLASHING DETAIL
- ◆ 5 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- ◆ 6 LOOSE FASTENERS



1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
A3 SCALE: 1/8"=1'-0"



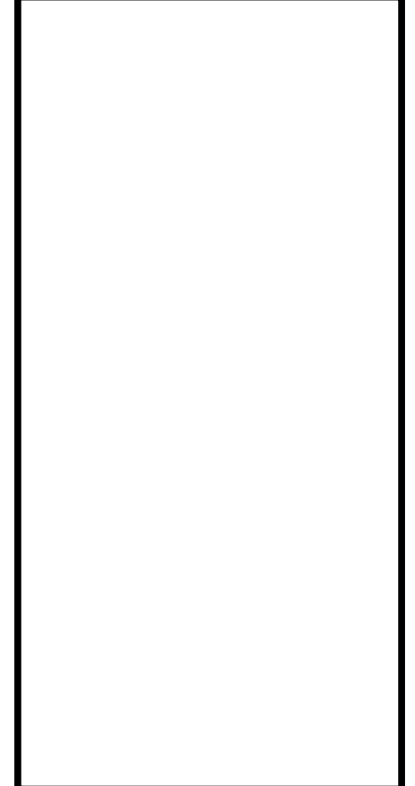
KEY PLAN - NOT TO SCALE

0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE
FAILED	POOR	FAIR	GOOD

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* SURVEYS * SPECIFICATIONS * INSPECTIONS *

(804) 515-0885



DATE: 10/05/2023
DRAWN BY: V.B.M.
SCALE: 1/8"=1'-0"
CHECKED BY: W.D.S. JR.



VISUAL INSPECTION
CLIENT: VILLAGE OF INDIAN CREEK (HOA)
PROJECT: VILLAGE AT INDIAN CREEK
ADDRESS: 15371 RIVER VISTA DRIVE
NORTH FORT MYERS, FL
DRAWING: ROOF PLAN

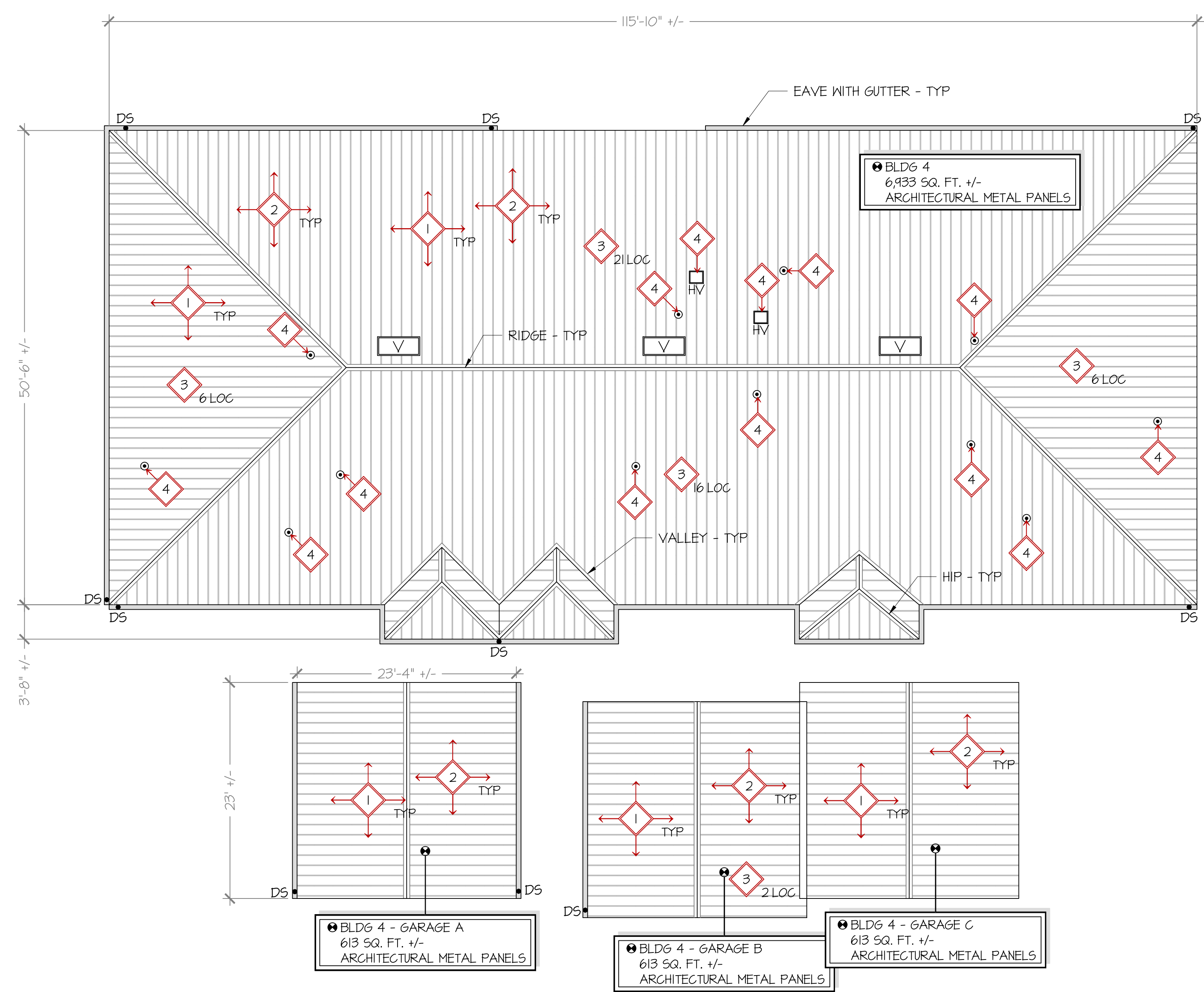
A3

\\T640SERVER\ROSSERVER\DWG\CLIENT INSPECTION DRAWINGS BY CS\12338-993762-6\111099.DWG

SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- ⊞ HOOK VENT
- ⊟ SQUARE VENT
- ⬠## DEFICIENCY LOCATION / NO.

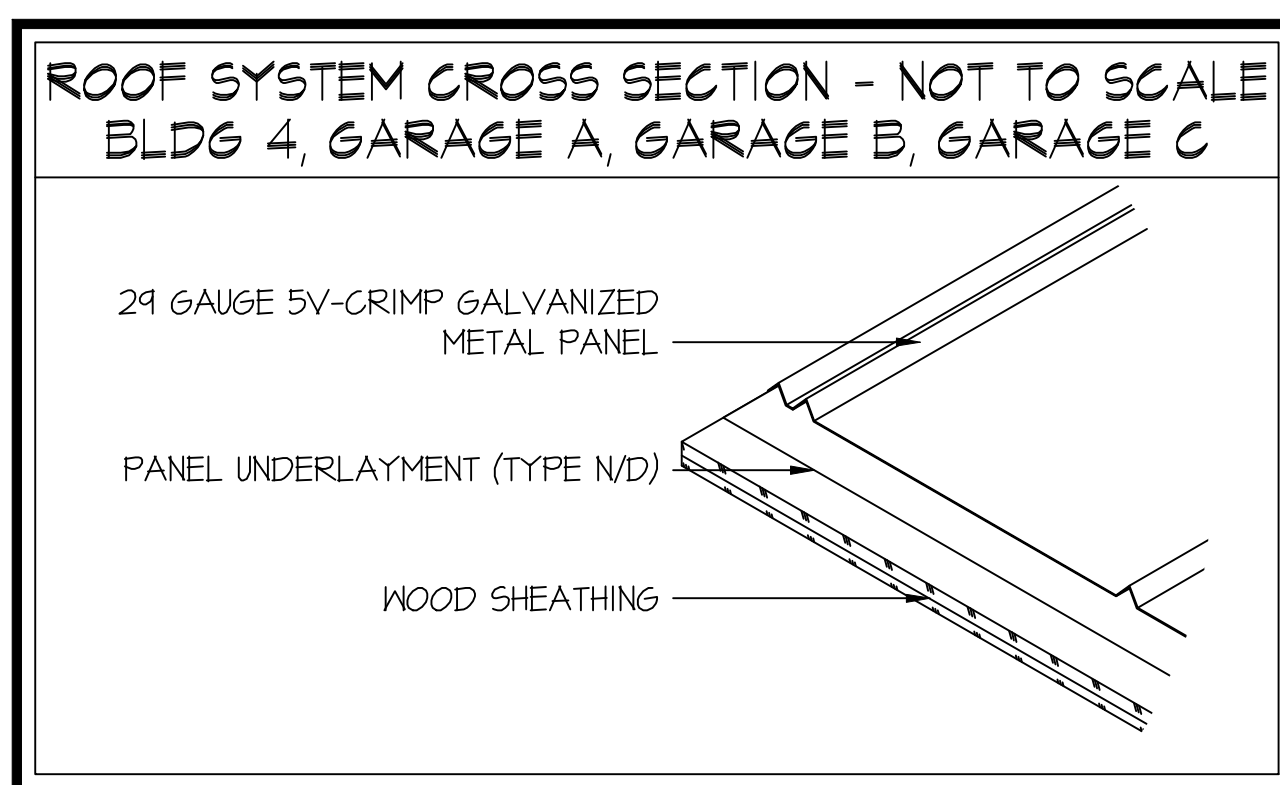
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY



1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
A4 SCALE: 1/8"=1'-0"

DEFICIENCY LIST - BUILDING 4

- 1 RUSTED FASTENERS
- 2 IMPROPER FASTENERS (NAILS) USED FOR PRIMARY SECUREMENT OF METAL PANEL ASSEMBLY
- 3 LOOSE FASTENERS
- 4 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING



KEY PLAN - NOT TO SCALE

0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE
FAILED	POOR	FAIR	GOOD

ros

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RICHMOND, VIRGINIA 23228

* SURVEYS * SPECIFICATIONS * INSPECTIONS *

(804) 515-0885

DATE:
10/05/2023

DRAWN BY:
V.B.M.

SCALE:
1/8"=1'-0"

CHECKED BY:
W.D.S. JR.

VISUAL INSPECTION

CLIENT: VILLAGE OF INDIAN CREEK (HOA)
PROJECT: VILLAGE AT INDIAN CREEK
ADDRESS: 15371 RIVER VISTA DRIVE
NORTH FORT MYERS, FL

DRAWING: ROOF PLAN

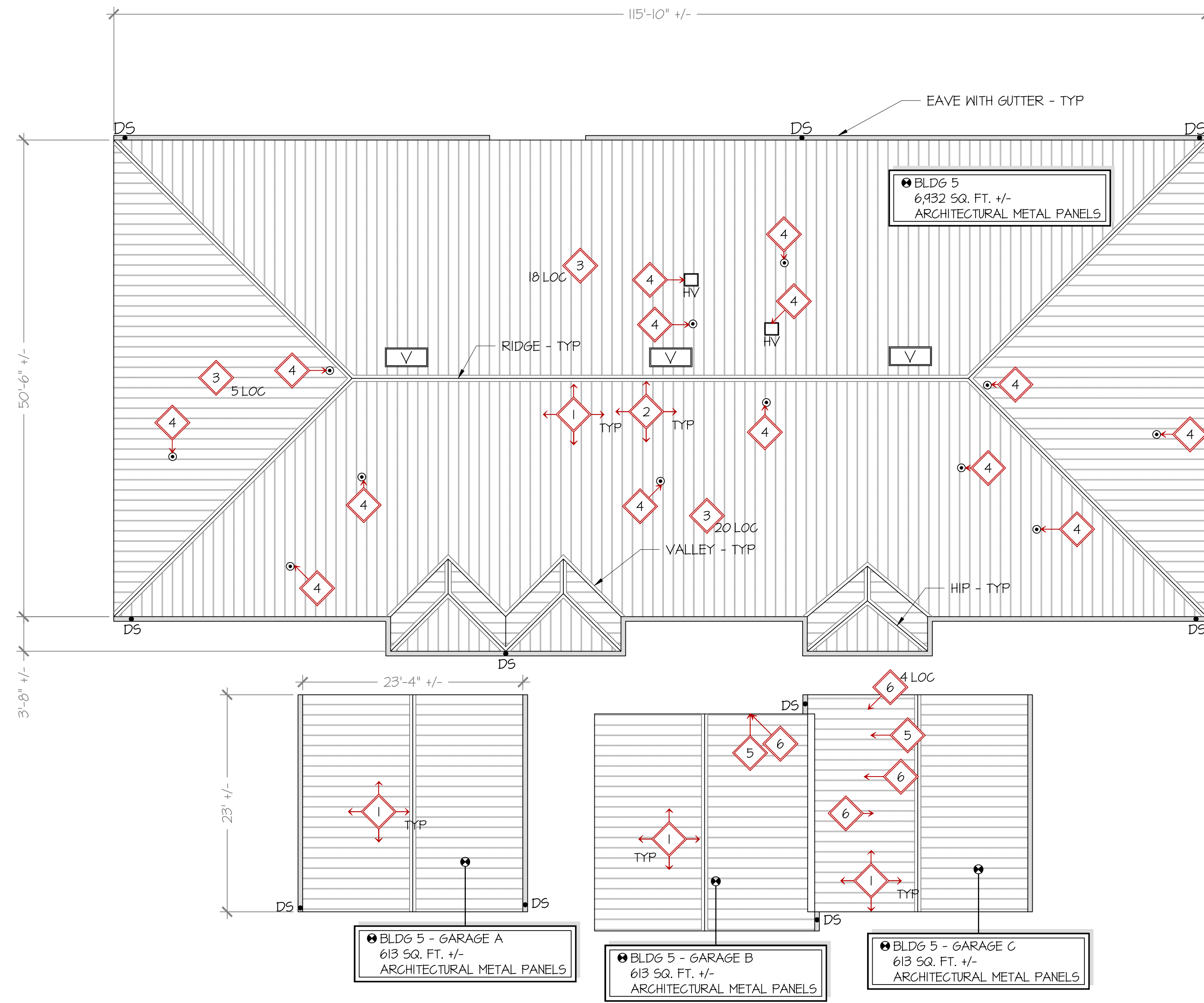
A4

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SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- HV HOOK VENT
- V SQUARE VENT
- ⬅️ ## DEFICIENCY LOCATION / NO.

NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY



DEFICIENCY LIST - BUILDING 5

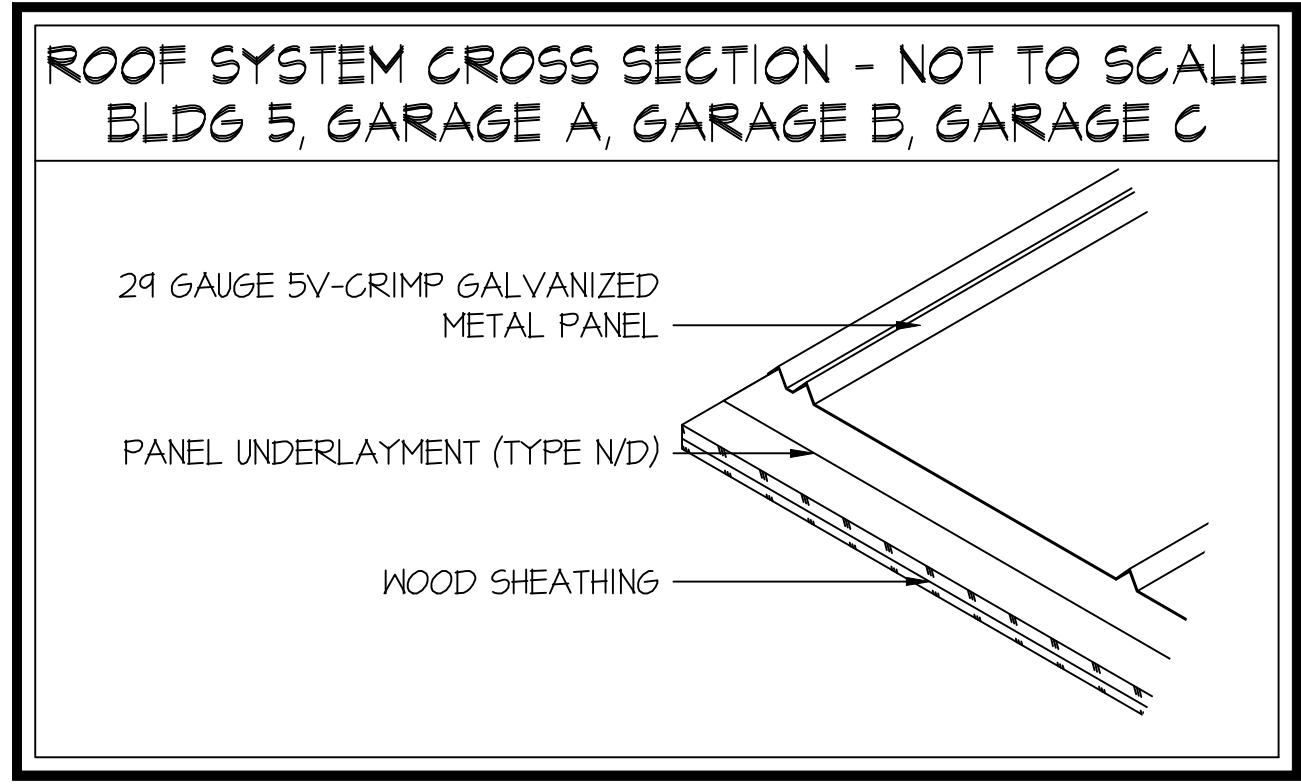
- 1 RUSTED FASTENERS
- 2 IMPROPER FASTENERS (NAILS) USED FOR PRIMARY SECUREMENT OF METAL PANEL ASSEMBLY
- 3 LOOSE FASTENERS
- 4 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- 5 RUST DEVELOPMENT ON METAL PANEL
- 6 DAMAGED / DENTED METAL PANELS

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 RICHMOND, VIRGINIA 23226
 (804) 515-0885

DATE: 10/05/2023
 DRAWN BY: V.B.M.
 SCALE: 1/8"=1'-0"
 CHECKED BY: W.D.S. JR.

VISUAL INSPECTION
 CLIENT: VILLAGE OF INDIAN CREEK (HOA)
 PROJECT: VILLAGE AT INDIAN CREEK
 ADDRESS: 15371 RIVER VISTA DRIVE
 NORTH FORT MYERS, FL
 DRAWING: ROOF PLAN

1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
 A5 SCALE: 1/8"=1'-0"



KEY PLAN - NOT TO SCALE

FAILED	POOR	FAIR	GOOD
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

A5

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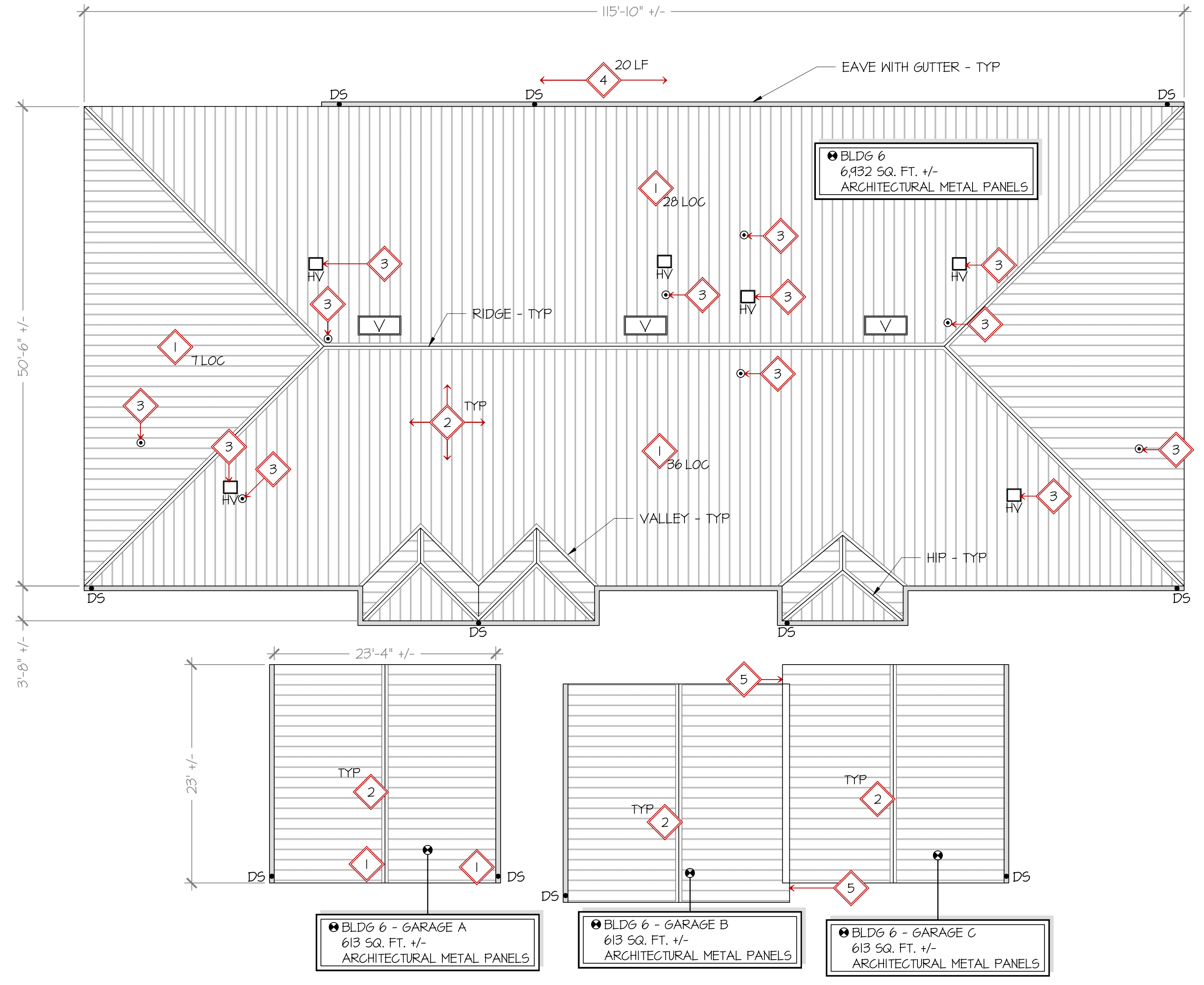
SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- HV HOOK VENT
- V SQUARE VENT
- ◆ DEFICIENCY LOCATION / NO.

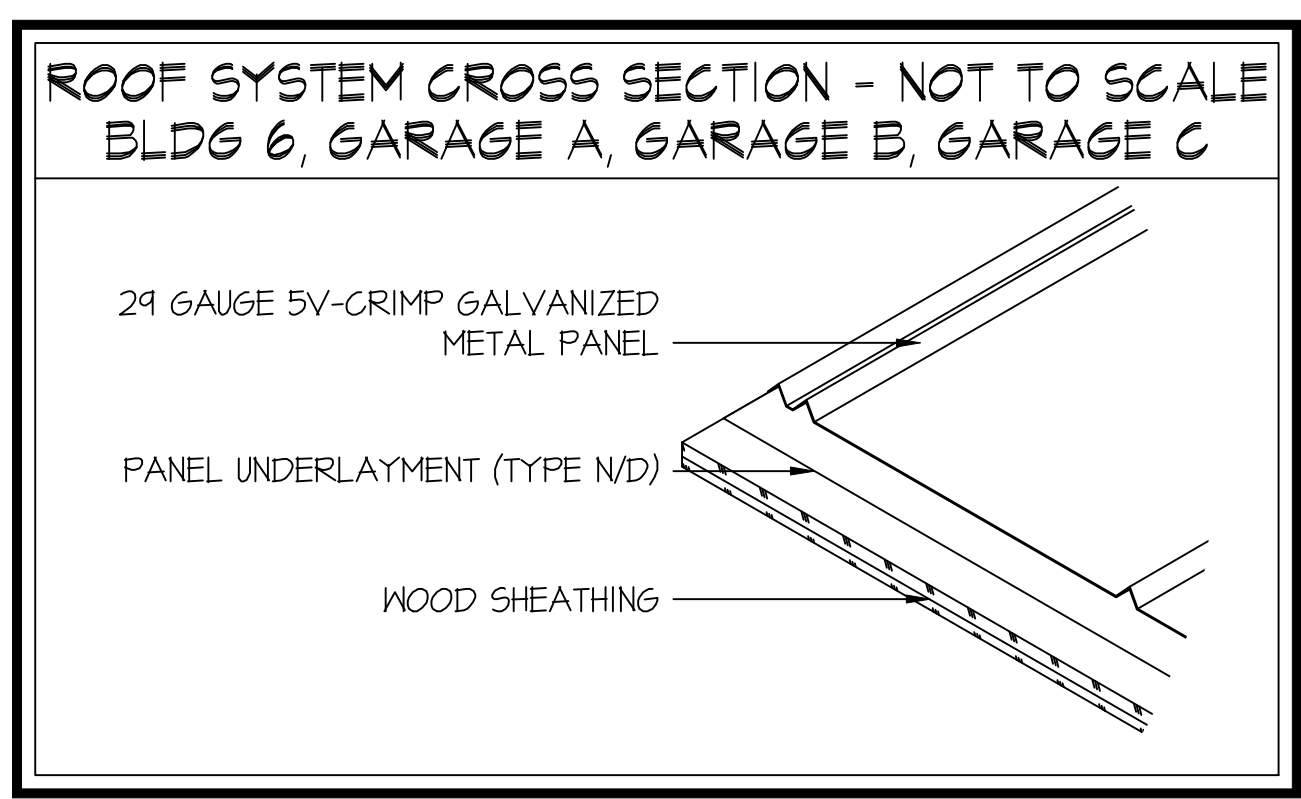
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

DEFICIENCY LIST - BUILDING 6

- ◆ 1 LOOSE FASTENERS
- ◆ 2 RUSTED FASTENERS
- ◆ 3 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- ◆ 4 DEBRIS IN GUTTER
- ◆ 5 OPEN CONDITION AT VALLEY FLASHING



1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
 A6 SCALE: 1/8"=1'-0"



KEY PLAN - NOT TO SCALE

0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE
FAILED	POOR	FAIR	GOOD

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 P.O. BOX 9747
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(804) 515-0885

* SURVEYS * SPECIFICATIONS * INSPECTIONS *

DATE: 10/05/2023
 DRAWN BY: V.B.M.
 SCALE: 1/8"=1'-0"
 CHECKED BY: W.D.S. JR.

VISUAL INSPECTION

CLIENT: VILLAGE OF INDIAN CREEK (HOA)
 PROJECT: VILLAGE AT INDIAN CREEK
 ADDRESS: 15371 RIVER VISTA DRIVE
 NORTH FORT MYERS, FL
 DRAWING: ROOF PLAN

A6

\\T640SERVER\ROSSERVER\DWG\CLIENT INSPECTION DRAWINGS BY CS\2338-443762-6\111094.DWG

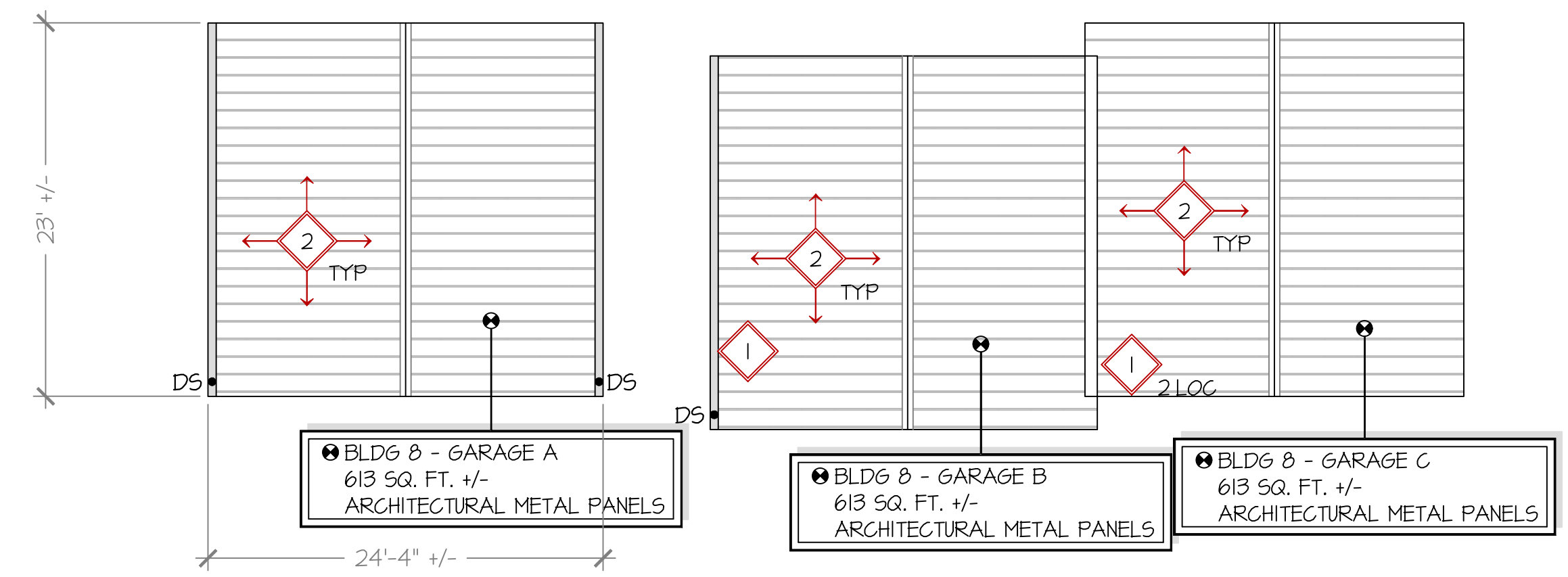
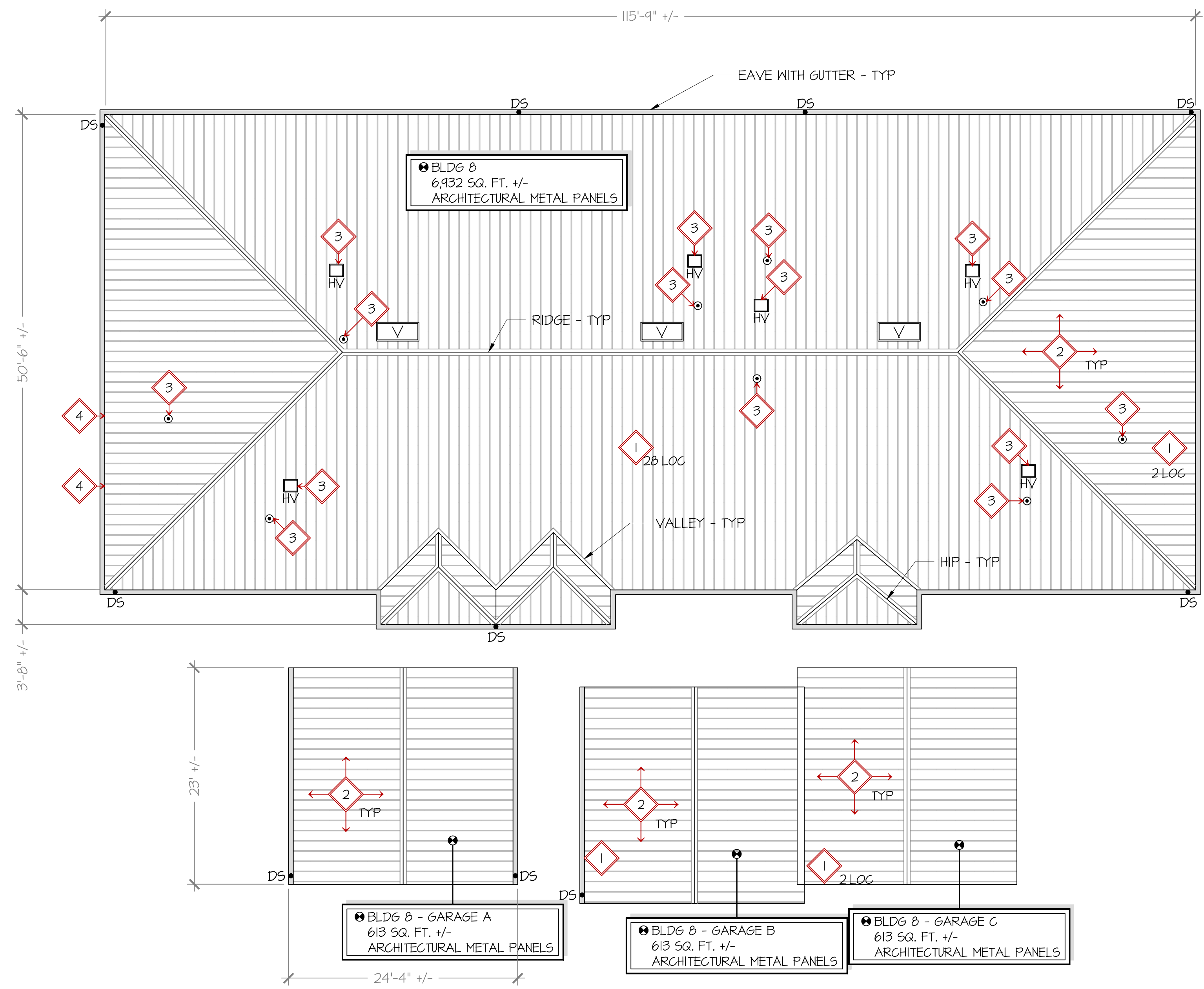
SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- ⊞ HV HOOK VENT
- ⊞ V SQUARE VENT
- ⬆️ ## DEFICIENCY LOCATION / NO.

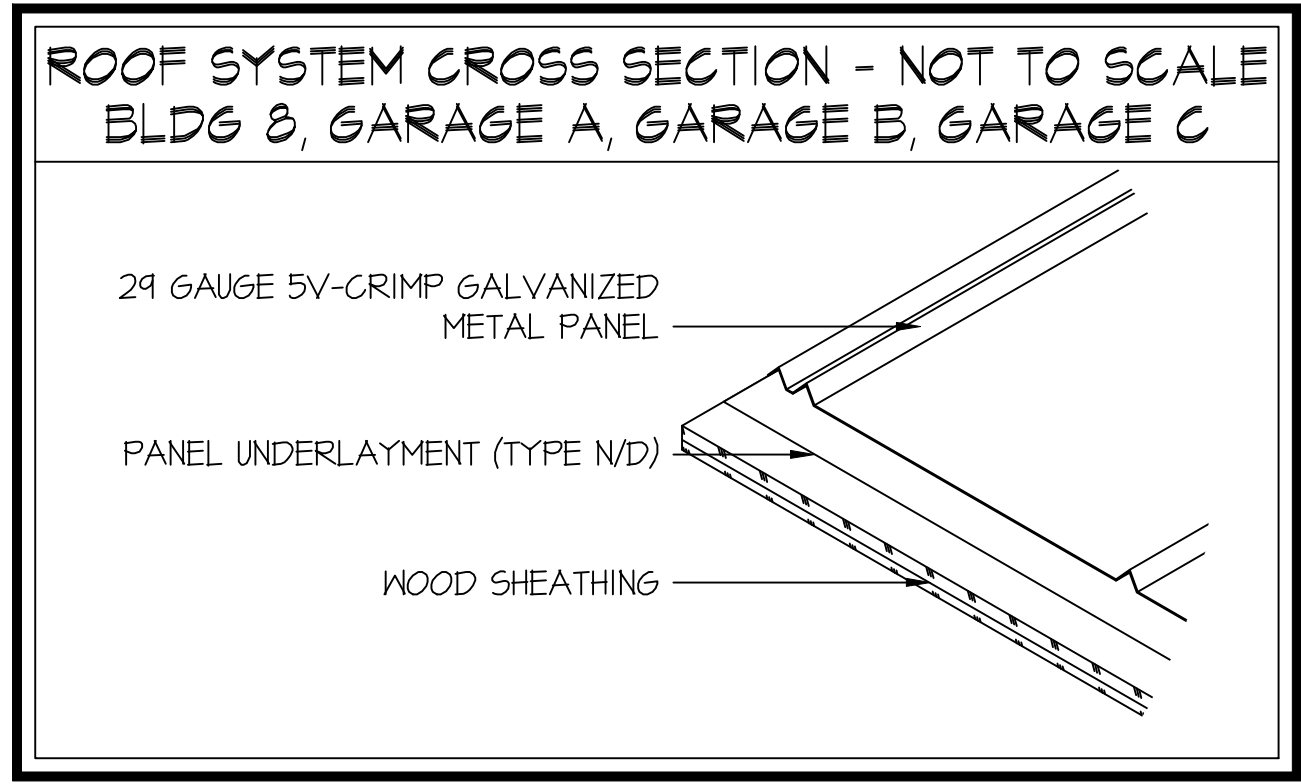
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY

DEFICIENCY LIST - BUILDING 8

- 1 LOOSE FASTENERS
- 2 RUSTED FASTENERS
- 3 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- 4 DAMAGED VINYL SIDING



1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
 A7 SCALE: 1/8"=1'-0"



KEY PLAN - NOT TO SCALE

FAILED	POOR	FAIR	GOOD
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

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 RICHMOND, VIRGINIA 23228
 (804) 515-0885
 * SURVEYS * SPECIFICATIONS * INSPECTIONS *

DATE: 10/05/2023
 DRAWN BY: V.B.M.
 SCALE: 1/8"=1'-0"
 CHECKED BY: W.D.S. JR.

VISUAL INSPECTION
 CLIENT: VILLAGE OF INDIAN CREEK (HOA)
 PROJECT: VILLAGE AT INDIAN CREEK
 ADDRESS: 15371 RIVER VISTA DRIVE
 NORTH FORT MYERS, FL
 DRAWING: ROOF PLAN

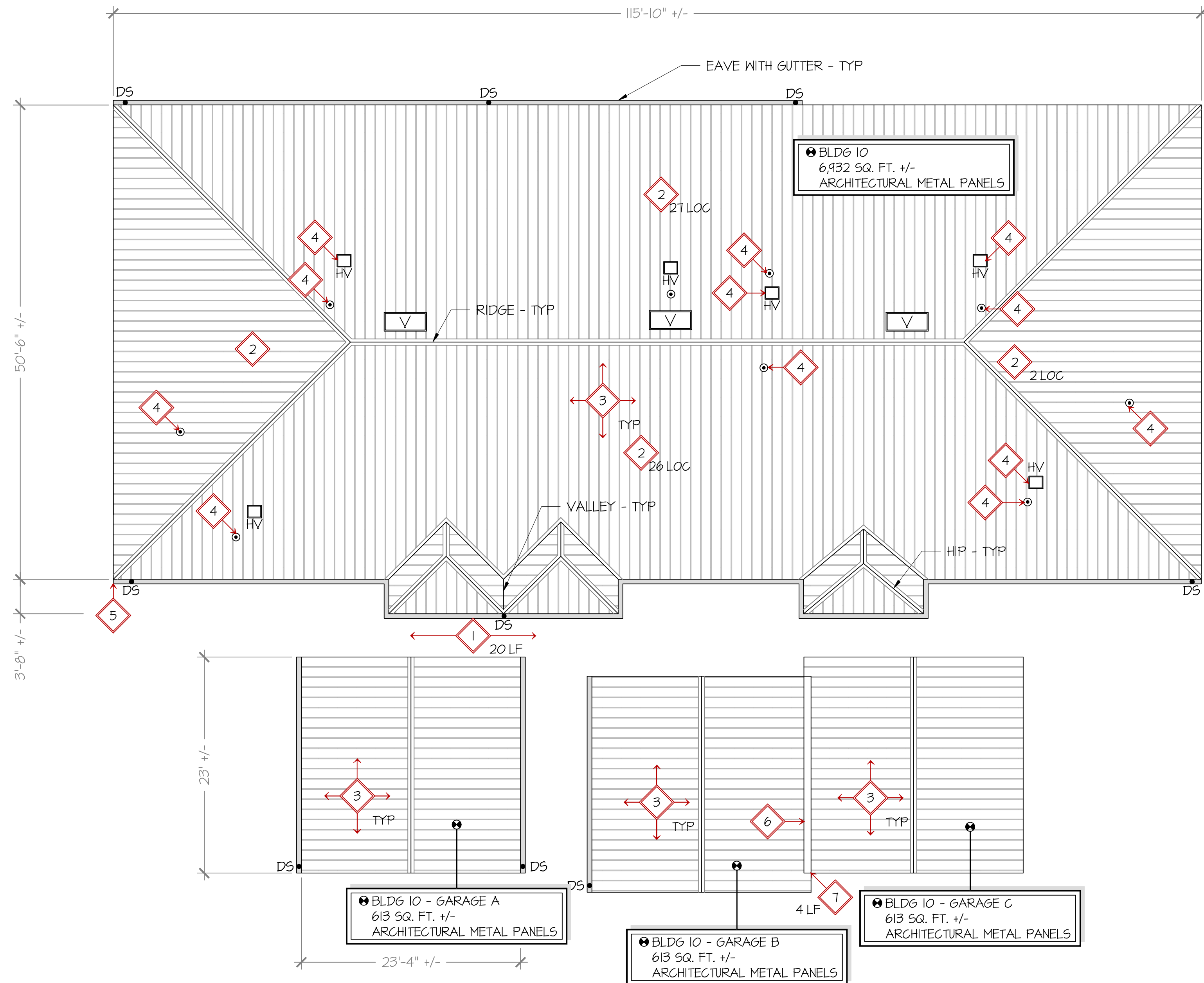
A7

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SYMBOL LEGEND

- DS • DOWNSPOUT
- PLUMBING VENT
- HV HOOK VENT
- V SQUARE VENT
- ◆ DEFICIENCY LOCATION / NO.

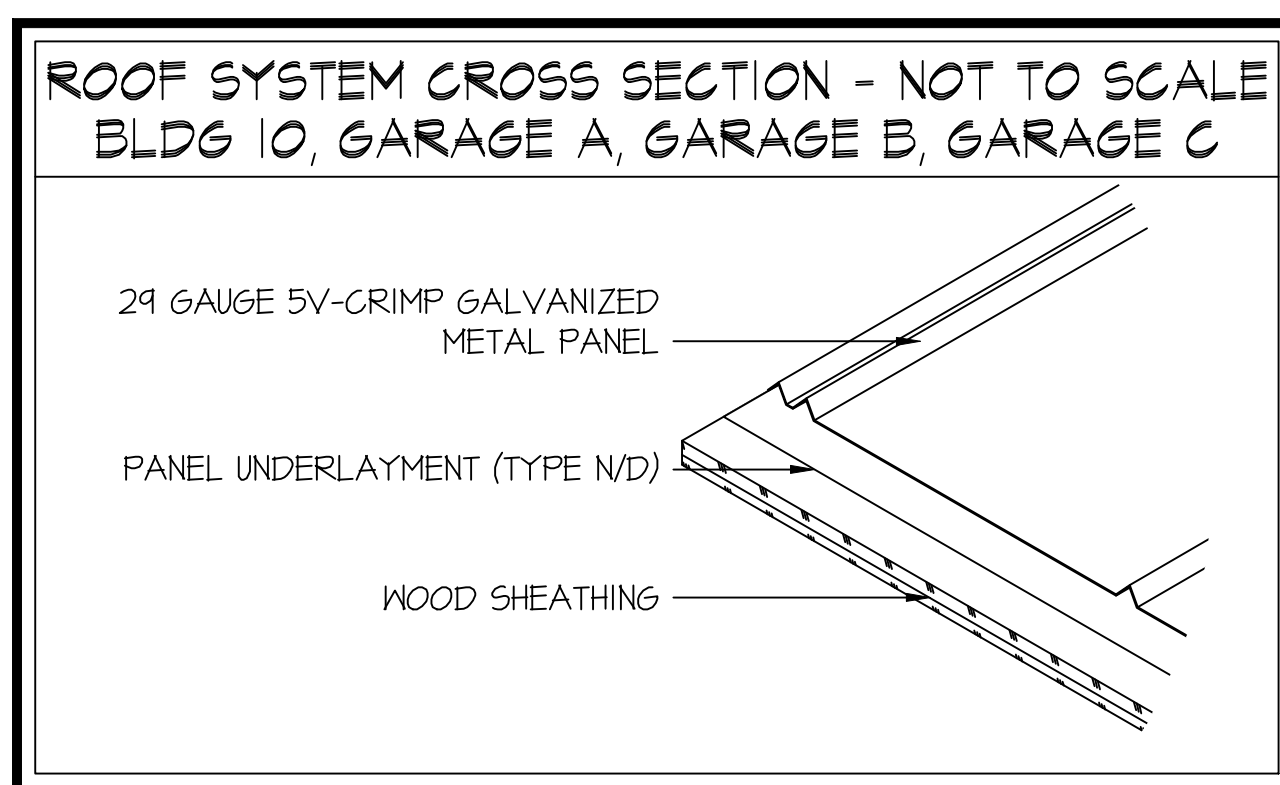
NOTE: PENETRATIONS ARE APPROXIMATE IN SIZE AND LOCATION TO BE USED AS REFERENCE POINTS ONLY



DEFICIENCY LIST - BUILDING 10

- ◆ 1 DEBRIS IN GUTTER
- ◆ 2 LOOSE FASTENERS
- ◆ 3 RUSTED FASTENERS
- ◆ 4 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING
- ◆ 5 MISSING END CAP ON GUTTER
- ◆ 6 SEVERELY DETERIORATED FLASHING MEMBRANE IN ROOF VALLEY / DRAINAGE PLANE
- ◆ 7 OPEN CONDITION AT VALLEY FLASHING

1 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-
 A8 SCALE: 1/8"=1'-0"

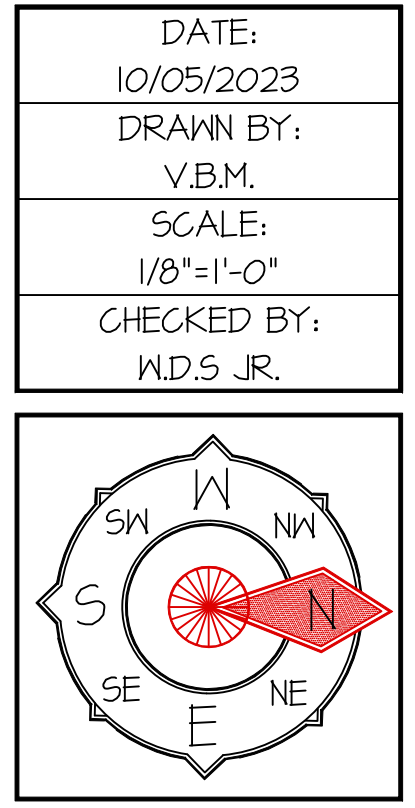


KEY PLAN - NOT TO SCALE

FAILED	POOR	FAIR	GOOD
0-1 YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE

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 CHECKED BY: W.D.S. JR.



VISUAL INSPECTION
 CLIENT: VILLAGE OF INDIAN CREEK (HOA)
 PROJECT: VILLAGE AT INDIAN CREEK
 ADDRESS: 15371 RIVER VISTA DRIVE
 NORTH FORT MYERS, FL
 DRAWING: ROOF PLAN

A8