

Village of Indian Creek (HOA)

15371 River Vista Drive Fort Myers, FL 33917

Village at Indian Creek



15371 River Vista Drive North Fort Myers, FL

10/5/2023

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INTRODUCTION TO REPORT FORMAT

The following condition codes are intended to provide a summary of the overall condition of each roof system.

Below is a listing of the condition codes used and their associated meaning:

ROOF CONDITION CODE	DESCRIPTION
Failed 0-1 Years Remaining Service Life	Removal and replacement of the roof system within the next 12 months is recommended due to the severity of deterioration.
Poor 2-4 Years Remaining Service Life	The roof assembly has surpassed or is nearing the end of its useful service life. Replacement will be required in the near future but can be temporarily postponed with strategic repairs until the frequency of leaks becomes unacceptable to internal operations or on-going repair costs become prohibitive.
Fair 5-7 Years Remaining Service Life	The roof system is serviceable yet requiring repairs and routine maintenance to maintain. Repairs should be implemented in a timely manner to prevent further development.
Good 8 Plus Years Remaining Service Life	Only minor repairs required or early in service life with no repairs required. Repairs should be implemented in a timely manner to prevent further development.

On the Detailed Deficiency Listing page of the report is a Deficiency Priority. It is located on the left hand margin of the page. Each deficiency is given a priority for completing the needed correction, depending on the urgency of the problem. The keys to the priority codes are as follows:

"E" Emergency - Correct immediately - Life Safety or Possibility of Personal Injury is a Major Concern

"C" Critical - Urgent need for immediate repair to avoid imminent failure with risk to life safety or risk of major disruption to operations

"S" Significant - Lack of immediate attention may lead to much higher repair cost or premature failure of roof system within 12 months

"M" Minor - Not an immediate concern, but should be scheduled for repair

"MN" Monitor - Defect should be addressed at time of roof system replacement or reinspected annually for further deterioration that would support reclassification to a higher risk category

"N/A" - Not Applicable - No Corrective Action Required

INTRODUCTION TO REPORT FORMAT

(Cont'd)

In the event a corrective action is considered routine maintenance for completion sometime with in the next 1-5 years, the following Deficiency Priority Codes will be used.

1 - First Year

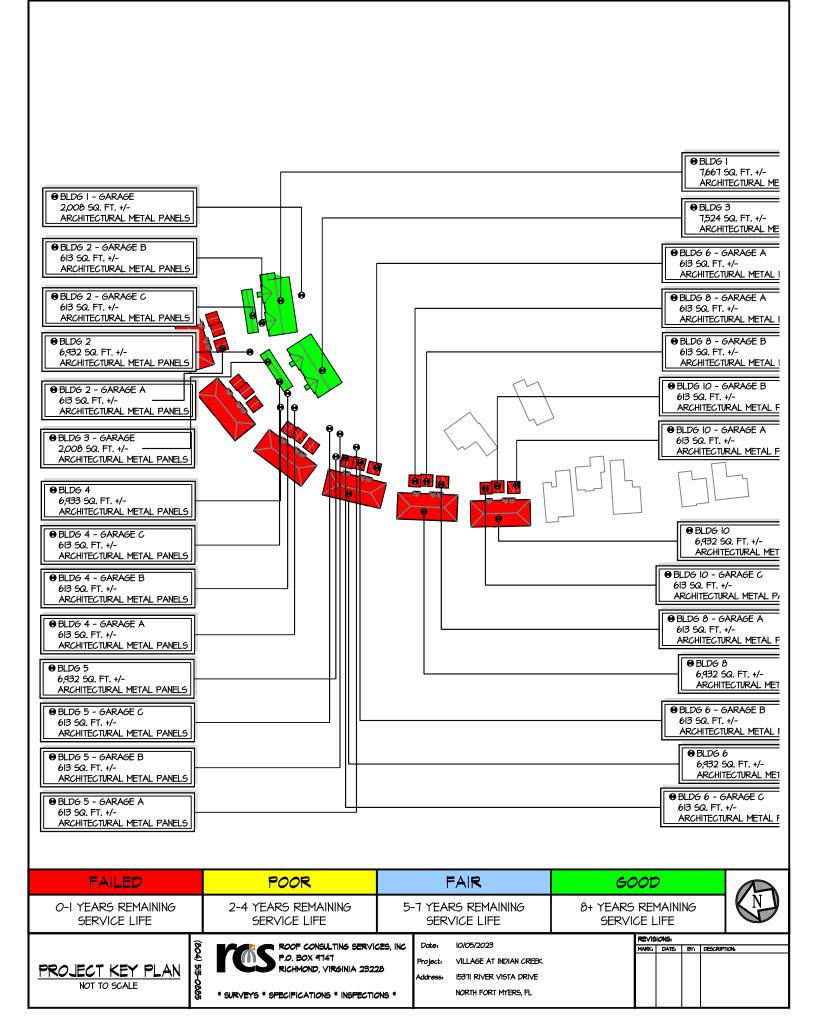
Complete within first year

- 2 Second Funding Year Complete during funding year 2
- 3 Third Funding Year Complete during funding year 3
- 4 Fourth Funding Year Complete during funding year 4
- 5 Fifth Funding Year Complete during funding year 5

This information, along with the Summary information, should allow for prioritizing the needs of each roof area and development of a maintenance and capital improvement budget.

Several items have been taken into consideration in establishing anticipated service life and budget estimates.

Service life estimates are based on data obtained through our field survey, historical experience and practical considerations of required repairs and the assumption that routine maintenance procedures, including annual inspections will be followed.



Roof System Condition Evaluation Report

			Proje	ct Info	rmation			
Facility Nam	1537	age at Indian 71 River Vista	a Drive		Contact: Sarah Nordin Phone: (706) 224-8178 Cell: N/D			
	Nor	th Fort Myers	Email:	Sarah.w.r	nordin@gmail.co	om		
Total Roo	f Area So	q. Ft. (+/-): 71,834			Exterior	Wall Type	: Vinyl Siding	
Y	ear Build	ling Built: 1986			Exterior Wall	Condition	: Fair	
	Buil	ding Use: Reside	ential	E	Exterior Moistur	e Staining	: None Observ	ed
Roof Area	Size	Roof Type	Roof Year	Areas S	UMMARY Roof Condition	Replace	Replacement	Repair Cost
Identification Bldg 1, Bldg 1 -	(sq/ft) 9,675	Architectural Metal	2013	Life (Yrs)	Code	Year 2038	Cost Estimate \$182,000.00	Estimate \$5,700.00
Bidg 1, Bidg 1 - Garage Bidg 2, Bidg 2 -	8,771	Panels Architectural Metal	1993	0-1 +/-	Failed	2030	\$165,000.00	N/A
Garage A, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C	0,771	Panels	1993	0-1 +/-	Falled	2024	\$165,000.00	N/A
Bldg 3, Bldg 3 - Garage	9,532	Architectural Metal Panels	2013	14-16 +/-	Good	2038	\$179,300.00	\$6,050.00
Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C	8,772	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	N/A
Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	N/A
Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$500.00
Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$450.00

Roof System Condition Evaluation Report

Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C	8,771	Architectural Metal Panels	1993	0-1 +/-	Failed	2024	\$165,000.00	\$650.00
Totals	71,834 So	q Ft					\$1,351,300.00	\$13,350.00

Project Comments:

On Thursday, October 5, 2023, a comprehensive visual roof inspection was completed on Village at Indian Creek located at 15371 River Vista Drive, North Fort Myers, FL. The purpose of this inspection was document observed roof system deficiencies, determine the overall condition of the existing roof systems and to estimate the remaining service life of the inplace roof assemblies.

The installed roofing consists of the following roof system types that are in the overall condition as listed below:

- Bldg 1 & Bldg 1 - Garage - Architectural Metal Panels - Good - 14-16 +/- years of remaining service life - Repair Cost: \$5,700.00

- Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A

- Bldg 3, Bldg 3 - Garage - Architectural Metal Panels - Good - 14-16 +/- years of remaining service life - Repair Cost: \$6,050.00

- Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A

- Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: N/A

- Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$500.00

- Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$450.00

- Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C - Architectural Metal Panels - Failed - 0-1 +/- years of remaining service life - Repair Cost: \$650.00

For repairs on all roof areas, we have estimated a total repair cost of \$13,350.00. This repair cost estimate is based on all recommended repairs being completed under a single work order. In the event only selective items are repaired, then the estimated cost is subject to an increase in overall repair cost.

Please reference the Roof Area Information, Detailed Deficiency Listing, Photograph Documentation and Roof Plan drawing sections of this report for the detailed information pertaining to our findings and recommendations for corrective action.

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

	Roof Syste	em Data			
Area Name: Bldg 1, Bldg 1 - Garag	e Year Installed: 2	2013	Active Leaks:	None Reported	
Size Sq. Ft. (+/-): 9,675	Remaining Service Life (Years):	14-16 +/-	Leak History:	Unknown	
Roof Elevation: 22' +/-	Average Roof System R Value:	N/D	Leak Sensitivity:	Normal	
Roofing Contractor:	Guarantee	Info:		Roof System:	
Company: Unknown	Guarantee (Y/N): No		Roof System Type:	Architectural Metal	Panels
Contact: Unknown	Manufacturer: Unknown	F	Roof Membrane Type:	5V-Crimp Galvanize	ed Pane
Phone: Unknown	Guarantee Term: N/A	I	Membrane Condition:	Good	
	Guarantee Number: N/A		Roof SurfacingType:	None	
	Expiration Date: N/A		Recovery System:	No	
Roof Deck and Support Structure:		Retarder:		Maintenance Iten	ns:
	vapor Retarder: No		Mechanical Damage:		
Deck Type: Wood Sheathing	Type: N/A		Chemical Exposure:		
Deck Thickness: N/D	Location: N/A			Yes - Service	
Roof Truss Type: N/D - No Access	Attachment: N/A		Debris:	None Observed	
Truss Height: N/D - No Access Truss Span: N/D - No Access	Condition: N/A				
Truss Spacing: N/D - No Access	Relative N/D Humidity:				
Base Flashings:		Perimeter Typ	es: Pe	enetrations: Qua	antity:
Flashing Type: N/A	Gravel Stop Ty	pe: Pre-Finished M	etal	Soil Stacks: 🗹	8
Height: N/A	Gravel Stop Condition	on: Good	ExI	naust Units: 🗌 🗌	0
Coated: N/A	Parapet Wall Ty	pe: Vinyl Siding	Stan	dard Curbs: 🗹 📘	4
Cant Strip Type: N/A	Parapet Wall Condition	on: Fair	Pip	e Supports: 🗌 🗌	0
Condition: N/A	Wall Coping Typ	pe: N/A		Pitch Pans:	0
Securement: N/A	Wall Coping Condition	on: N/A	l	Roof Hatch:	0
Counter Flashing:	Wall Coping Si	ze: N/A		Hot Stacks: 🗌 🗧	0
Reglet Joint: Surface Mou	nt: Metal Coping Material Ty	pe: N/A		Skylights:	0
Thru Wall: 🗌 🛛 Term Bar: 🗌	Metal Coping Quant	ity: N/A	Sn	noke Hatch: 🗌	0
CF Metal Type: N/A	Expansion Joint Ty	pe: N/A		Other: 🖌	8
	Expansion Joint Condition	on: N/A			
Drainage:	Item:	Size: Mate	rial Type: Qua	Condit	ion:
Drainage: Good	Roof Drains:	N/A N/A		0 N//	4
Slope: 7 / 12 +/-	Scuppers:	N/A N/A	1	N/A N/#	ł
Ponding Water: No	Gutters: 🖌	4" x 4" Alumi	num 6	6 LF Fai	r
Drainage Comments: No ponding water	observed Downspouts:	3" x 4" Alumi	num	4 Fa	ir

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

Aspestos Performed: Membrane:	Material Testing: Results: No Membrane: N/A	Required: Membrane:	No	Roof Moisture Survey: Moisture Survey Completed: No Results: N/A	
Flashing: Repairs:	No Flashing: N/A No Repairs: N/A	Flashing: Repairs:	No No	Number of Anomalies: N/A % of Wet Roof Area: N/A	
Other: Roof S Layer No	No Other: N/A /stem Composition	Other:	No	Total Sq. Ft. of Wet Roof Area: N/A	Sq. F
1	Wood Sheathing	N/D	N	Mechanical Not Determined	
2	Panel Underlayment (Type N/D)	N/D	N	Mechanical Not Determined	
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	Mechanical Good	
Roof C	Condition Code: Good		De	eficiencies Repair Cost: \$5,700.00)
Re	commendation: Repai	r	Bu	udget Notes:	
			The		

Replacement Cost (+/-): \$182,000.00

The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency repair costs are based on all work being completed under one work order.

Roof Area Comments:

Bldg 1 & Bldg 1 - Garage:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 66 LF of gutters and 4 downspouts. The existing roof system was reportedly installed in 2013. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is Good. Five (5) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance, the Owner should realize an additional 14-16 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor MN - Monitor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding 5 - Fifth Year Funding	N/A - Not Applicable No Correction Action Required
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Inspection	n Date: <u>10/</u>	5/2023 Inspectors: Efren Villeda			
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		UNIT PRICE	REPAIR COST
1	M	Deteriorated pipe flashing detail	8	\$300.00	\$2,400.00
		Remove existing flashing boot, remove deteriorated sealants from penetration and surrounding panel surface and clean, install new pre-manufactured flashing boot set in butyl non-curing sealant and secured at the perimeter flange 1-in. o.c. max	Locations		
2	Μ	Deteriorated previous sealant repairs at penetration flashing	8	\$350.00	\$2,800.00
		Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	Locations		
3	М	Tree limbs / branches overhanging roof surface	1	\$400.00	\$400.00
		Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	Location		
4	Μ	Loose, missing or rusted fasteners or deteriorated neoprene washers	2	\$50.00	\$100.00
		Remove and replace loose or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	Ea		
		Grand To	otal	\$5	5,700.00

Priority Code Tot	tals:		
Minor	\$5,700.00		

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

1. Building exterior front elevation overview





2. Building exterior front elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

3. Building exterior side elevation overview



4. Building exterior rear elevation overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

5. Building exterior side elevation overview



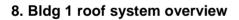


6. Bldg 1 - Garage roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

7. Bldg 1 - Garage roof system overview



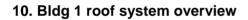




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

9. Bldg 1 roof system overview



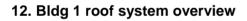




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

11. Bldg 1 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

13. Deficiency #1 - Deteriorated pipe flashing detail



14. Deficiency #1 - Deteriorated pipe flashing detail



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

15. Deficiency #2 - Deteriorated previous sealant repairs at penetration flashing







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 1, Bldg 1 - Garage



17. Deficiency #3 - Tree limbs / branches overhanging roof surface





Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 1, Bldg 1 - Garage

19. Deficiency #4 - Loose, missing or rusted fasteners or deteriorated neoprene washers



20. Deficiency #4 - Loose, missing or rusted fasteners or deteriorated neoprene washers



Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

		Roof Syst	tem Dat	a		
	g 2, Bldg 2 - Garage A, Bld rage B, Bldg 2 - Garage C	g 2 - Year Installed	: 1993	Active L	.eaks: None Rep	oorted
Size Sq. Ft. (+/-): 8,7	71 Rema	ining Service Life (Years)	: 0-1 +/-	Leak Hi	story: Unknown	
Roof Elevation: 12'	+/- Aver	age Roof System R Value	: N/D	Leak Sensi	tivity: Normal	
Roofing	Contractor:	Guarante	e Info:		Roof Sys	stem:
Company: Unknown	G	uarantee (Y/N): No		Roof System	Type: Architect	ural Metal Panels
Contact: Unknown		Manufacturer: Unknown		Roof Membrane	Type: 5V-Crimp	Galvanized Pane
Phone: Unknown	G	uarantee Term: N/A		Membrane Cond	lition: Failed	
	Guai	rantee Number: N/A		Roof Surfacing	Type: None	
	E	Expiration Date: N/A		Recovery Sys	stem: No	
	oof Deck and	Vapo	r Retarder:		Mainter	ance Items:
3	Support Structure:	Vapor Retarder: No		Mechanical Da	amage: None Ob	oserved
Deck Type: W	lood Sheathing	Type: N/A		Chemical Exp	osure: None Ob	oserved
Deck Thickness: N	/D	Location: N/A		Roof	Traffic: Yes - Se	ervice
Roof Truss Type: N	/D - No Access	Attachment: N/A		I	Debris: None Ob	oserved
Truss Height: N	/D - No Access	Condition: N/A				
Truss Span: N	/D - No Access	Relative N/D				
Truss Spacing: N	/D - No Access	Humidity:				
	/D - No Access Base Flashings:	numaty.	Perime	eter Types:	Penetration	Quantity:
	Base Flashings:	Gravel Stop 1		eter Types:	Penetration Soil Stack	
[Base Flashings: N/A		Type: Metal	eter Types:		ks:
Flashing Type: 1	Base Flashings: N/A N/A	Gravel Stop 1	Type: Metal	eter Types:	Soil Stack	ks: ✓ 12 ts: □ 0
Flashing Type: 1 Height: 1	Base Flashings: N/A N/A N/A	Gravel Stop 1 Gravel Stop Condi	Type: Metal ition: Fair Type: N/A	eter Types:	Soil Stack Exhaust Uni	<pre></pre>
Flashing Type: ↑ Height: ↑ Coated: ↑	Base Flashings: N/A N/A N/A	Gravel Stop 1 Gravel Stop Condi Parapet Wall 1	Type: Metal ition: Fair Type: N/A ition: N/A	eter Types:	Soil Stacl Exhaust Uni Standard Curt	$\begin{array}{c c} \mathbf{xs:} & \mathbf{\checkmark} & 12 \\ \mathbf{ts:} & \mathbf{\bigcirc} & \mathbf{\bigcirc} \\ \mathbf{ps:} & \mathbf{\checkmark} & 3 \\ \mathbf{ts:} & \mathbf{\bigcirc} & \mathbf{\bigcirc} \\ \end{array}$
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1	Base Flashings: N/A N/A N/A N/A	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi	Type: Metal ition: Fair Fype: N/A ition: N/A Fype: N/A	eter Types:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor	ks: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1	Base Flashings: N/A N/A N/A N/A	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T	Fype: Metal ition: Fair Type: N/A ition: N/A Type: N/A ition: N/A	eter Types:	Soil Stack Exhaust Uni Standard Curt Pipe Suppor Pitch Par	s: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○ ps: ○ ps: ○
Flashing Type: M Height: M Coated: M Cant Strip Type: M Condition: M Securement: M	Base Flashings: N/A N/A N/A N/A N/A Counter Flashing:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond	Type:Metalition:FairFype:N/Aition:N/AFype:N/Aition:N/ASize:N/A	eter Types:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato	ks: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○ ch: ○ ch: ○
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Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2 Thru Wall: 2	Base Flashings: N/A Surface Mount: Term Bar:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Metal Coping Material	Fype: Metal ition: Fair Type: N/A ition: N/A ition: N/A size: N/A Size: N/A Type: N/A ntity: N/A	eter Types:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato	s: ✓ 12 ts: ○ os: ✓ 3 ts: ○ os: ○ os: ○ s: ○ os: ○ s: ○ s: ○ os: ○ os: ○
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2	Base Flashings: N/A Surface Mount: Term Bar:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Metal Coping Material T Metal Coping Qua	Type:Metalition:FairFype:N/Aition:N/AType:N/ASize:N/ASize:N/Antity:N/AType:N/A	eter Types:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato	xs: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○ ch: ○ cs: ○ cs: ○ cs: ○ ch: ○ ch: ○
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2 Thru Wall: 2	Base Flashings: N/A Surface Mount: Term Bar:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Metal Coping Material T Metal Coping Qua Expansion Joint T	Type:Metalition:FairFype:N/Aition:N/AType:N/ASize:N/ASize:N/Antity:N/AType:N/A	eter Types:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato	xs: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○ ch: ○ cs: ○ cs: ○ cs: ○ ch: ○ ch: ○
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2 Thru Wall: 2	Base Flashings: N/A Surface Mount: Term Bar: I/A Drainage:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Metal Coping Material T Metal Coping Qua Expansion Joint T Expansion Joint Cond	Type: Metal ition: Fair Type: N/A ition: N/A Type: N/A Size: N/A Size: N/A Type: N/A Type: N/A Type: N/A Type: N/A ition: N/A Type: N/A Type: N/A ition: N/A		Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato Oth	s: 12 ts: 0 os: 3 ts: 0 ch: ch: 0 ch: ch:
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2 Thru Wall: 2 CF Metal Type: N	Base Flashings: N/A Surface Mount: Term Bar: I/A Drainage:	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Material T Metal Coping Material T Metal Coping Qua Expansion Joint T Expansion Joint Cond	Type:Metalition:FairType:N/Aition:N/AType:N/ASize:N/AType:N/Antity:N/AType:N/Aition:N/ASize:N/ASize:N/A	Material Type:	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato Oth	s: 12 ts: 0 s: 0 s: 0 s: 0 ch: ch:
Flashing Type: 1 Height: 1 Coated: 1 Cant Strip Type: 1 Condition: 1 Securement: 1 Reglet Joint: 2 Thru Wall: 2 CF Metal Type: N	Base Flashings: N/A N/A N/A N/A N/A N/A Counter Flashing: Surface Mount: Term Bar: //A Drainage: Good 7 / 12 +/-	Gravel Stop T Gravel Stop Condi Parapet Wall T Parapet Wall Condi Wall Coping T Wall Coping Cond Wall Coping Material Metal Coping Material Metal Coping Qua Expansion Joint Cond Item: Roof Drains:	Fype: Metal ition: Fair Type: N/A ition: N/A fype: N/A ition: N/A Size: N/A fype: N/A fype: N/A fype: N/A fype: N/A fype: N/A fype: N/A size: N/A	Material Type: N/A	Soil Stack Exhaust Uni Standard Curk Pipe Suppor Pitch Par Roof Hato Hot Stack Skyligh Smoke Hato Oth	s: ✓ 12 ts: ○ ps: ✓ 3 ts: ○ ns: ○ ch: ○ N/A N/A

Village at Indian Creek **15371 River Vista Drive** North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

Asbestos Performed: Membrane: Flashing: Repairs:	Material Testing Results: No Membrane: No Flashing: No Repairs:	N/A N/A	Required: Membrane: Flashing: Repairs:	No No No		omalies:	lo N/A N/A
Other:	No Other:	N/A	Other:	No		of Wet Roof Area:	N/A Sq. F
Roof Sy Layer No	ystem Compos	sition	Thickness	A	ttachment	Condition	
1	Wood Sheathing	9	N/D	N	lechanical	Not Detern	nined
2	Panel Underlayr N/D)	nent (Type	N/D	Ν	lechanical	Not Detern	nined
3	5V-Crimp Galva Panel	nized Metal	29 Gauge	N	lechanical	Poor	
Roof C	Condition Cod	de: Failed		De	ficiencies F	Repair Cost	N/A
Re	commendatio	n: Repla	cement	Bu	dget Notes	:	
	olacement Ye ment Cost (+		00.00	asb unfo	estos or lead at	ons that may exi	uired, or for any

under one work order.

Roof Area Comments:

Bldg 2 & Bldg 2 - Garages A - C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 271 LF of gutters and 9 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding	N/A - Not Applicable No Correction Action Required
	MN - Monitor	5 - Fifth Year Funding	

Inspection Date: 10/5/2023 Inspectors: Efren Villeda						
NUMBER PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY	UNIT PRICE	REPAIR COST		
	DEFICIENCY SOLUTION	UNITS				
1	MN	Rusted fasteners	4			
		Address noted condition by / during recommended roof system replacement	Typical			
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	4			
		Address noted condition by / during recommended roof system replacement	Typical			
3	MN	Loose fasteners	49			
		Address noted condition by / during recommended roof system replacement	Each			
4	MN	Deteriorated previous sealant repairs at penetration flashing	enetration 12			
		Address noted condition by / during recommended roof system replacement	Locations			
	Grand Total				N/A	

Priority Code Totals:		

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

1. Building exterior front elevation overview





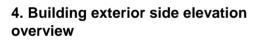


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

3. Building exterior rear elevation overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

5. Bldg 2 - Garage A roof system overview





6. Bldg 2 - Garage A roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

7. Bldg 2 - Garage B roof system overview



8. Bldg 2 - Garage B roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

9. Bldg 2 - Garage B roof system overview





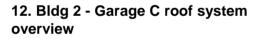


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

11. Bldg 2 - Garage C roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C



13. Bldg 2 roof system overview

14. Bldg 2 roof system overview

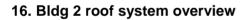


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

15. Bldg 2 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

17. Bldg 2 roof system overview



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly



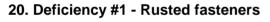
Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

19. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly





Deficiency #3 - Loose fasteners

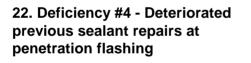


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 2, Bldg 2 - Garage A, Bldg 2 - Garage B, Bldg 2 - Garage C

21. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing







Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

	Roof Syst	em Data			
Area Name: Bldg 3, Bldg 3 - Garage	Year Installed:	2013	Active Leaks:	None Reported	
Size Sq. Ft. (+/-): 9,532	Remaining Service Life (Years):	14-16 +/-	Leak History:	Unknown	
Roof Elevation: 22' +/-	Average Roof System R Value:	N/D	Leak Sensitivity:	Normal	
Roofing Contractor:	Guarante	e Info:		Roof System:	
Company: Unknown	Guarantee (Y/N): No		Roof System Type:	Architectural Met	al Panels
Contact: Unknown	Manufacturer: Unknown		Roof Membrane Type:	5V-Crimp Galvan	ized Pane
Phone: Unknown	Guarantee Term: N/A		Membrane Condition:	Good	
	Guarantee Number: N/A		Roof SurfacingType:	None	
	Expiration Date: N/A		Recovery System:	No	
Roof Deck and	Vapo	r Retarder:		Maintenance Ite	ems:
Support Structure:	Vapor Retarder: No		Mechanical Damage:	None Observed	
Deck Type: Wood Sheathing	Type: N/A		Chemical Exposure:	None Observed	
Deck Thickness: N/D	Location: N/A		Roof Traffic:	Yes - Service	
Roof Truss Type: N/D - No Access	Attachment: N/A		Debris:	None Observed	
Truss Height: N/D - No Access	Condition: N/A				
Truss Span: N/D - No Access	Relative N/D				
Truss Spacing: N/D - No Access	Humidity:				
Base Flashings:		Perimeter			uantity:
Flashing Type: N/A		ype: Pre-Finishe		Soil Stacks: 🗹	4
Height: N/A	Gravel Stop Condi			naust Units: 🗌	0
Coated: N/A	-	ype: Vinyl Siding	-	dard Curbs: 🗹	4
Cant Strip Type: N/A	Parapet Wall Condi		-	e Supports:	0
Condition: N/A	Wall Coping T			Pitch Pans:	0
Securement: N/A	Wall Coping Condi			Roof Hatch:	0
Counter Flashing:	Wall Coping			Hot Stacks:	0
Reglet Joint: Surface Mount			0	Skylights:	0
Thru Wall: 🗌 🛛 Term Bar: 🗌	Metal Coping Quar	-	Sn	noke Hatch:	0 12
CF Metal Type: N/A	Expansion Joint T Expansion Joint Condi			Other: 🖌	12
Drainage:	Item:	Size:	laterial Type: Qua	antity: Conc	lition:
Drainage: Good	Roof Drains:	N/A N/	Ά	0 N	I/A
Slope: 7 / 12 +/-	Scuppers:	N/A N/	1 A	N/A N	J/A
Ponding Water: No	Gutters: 🖌	4" x 4" Al	uminum 60	6 LF F	air

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Performed:	Results:	Required:		Moisture Survey Completed: No	
lembrane:	No Membrane: N/A	Membrane:	No	Results: N/A	
Flashing:	No Flashing: N/A	Flashing:	No	Number of Anomalies: N/A]
Repairs:	No Repairs: N/A	Repairs:	No	% of Wet Roof Area: N/A]
Other:	No Other: N/A	Other:	No	Total Sq. Ft. of Wet Roof Area: N/A	Sq.
Roof Sy	stem Composition			I	
Layer No	Layer Type	Thickness	A	ttachment Condition	
1	Wood Sheathing	N/D	Ν	Nechanical Not Determined	
2	Panel Underlayment (Type N/D)	N/D	N	Nechanical Not Determined	
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	Aechanical Good	
Roof C	Condition Code: Good		De	eficiencies Repair Cost: \$6,050.0	0
Rec	commendation: Repair		Bu	udget Notes:	
Rep	lacement Year: 2038			e budget estimate does not include pricing for	v
Replacement Year: 2038			asb	pestos or lead abatement, if required, or for a oreseen conditions that may exist. Deficien	an

repair costs are based on all work being completed

under one work order.

Replacement Cost (+/-): \$179,300.00

Roof Area Comments:

Bldg 3 & Bldg 3 - Garage:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 66 LF of gutters and 4 downspouts. The existing roof system was reportedly installed in 2013. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is Good. Six (6) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With correction to the noted deficiencies and routine maintenance, the Owner should realize an additional 14-16 +/- years of service life from the installed roof system.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor MN - Monitor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding 5 - Fifth Year Funding	N/A - Not Applicable No Correction Action Required
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Inspection	n Date: <u>10/</u>	5/2023 Inspectors: Efren Villeda			
NUMBER	PRIORITY	DEFICIENCY DESCRIPTION	QUANTITY	UNIT	REPAIR
	CODE	DEFICIENCY SOLUTION	UNITS	PRICE	COST
1	М	Damaged drip edge	1	\$750.00	\$750.00
		Remove panel fasteners as required to facilitate removal of damaged panel and drip edge segment (10 linear feet). Remove and properly dispose of damaged components, furnish and install roof drip edge to match the existing, furnish and install new 5V-Crimp galvanized roof panel installed with new butyl non- curing sealant and hex head self-tapping fasteners which include a neoprene bonded washer installed per the manufacturer specified attachment rate.	Location		
2	MN	Damaged / dented metal panels	1		
		Condition addressed by corrective action #1 - no further repair action required	Location		
3	М	Tree limbs / branches overhanging roof surface	1	\$750.00	\$750.00
		Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	Location		
4	М	Deteriorated sealant application at pipe flashing detail	4	\$75.00	\$300.00
		Remove all loose / deteriorated sealant at the affected location, clean penetration, install water cut-off sealant inside top flange of flashing boot and reseal with industrial grade polyurethane sealant of a color to match existing	Locations		
5	М	Deteriorated previous sealant repairs at penetration flashing	12	\$350.00	\$4,200.00
		Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	Locations		

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

Inspection	n Date: <u>10/</u> 5	5/2023 Inspectors: Efren Villeda			
NUMBER	PRIORITY CODE			UNIT PRICE	REPAIR COST
		DEFICIENCY SOLUTION	UNITS		
6	М	Loose fasteners	1	\$50.00	\$50.00
		Remove and replace loose, missing, or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	Еа		
		Grand To	tal	\$6	,050.00

Priority Code Tot	tals:		
Minor	\$6,050.00		

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

1. Building exterior front elevation overview



2. Building exterior side elevation overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

3. Building exterior rear elevation overview



4. Building exterior side elevation overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

5. Building exterior front elevation overview



6. Bldg 3 - Garage roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

7. Bldg 3 - Garage roof system overview



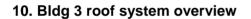
8. Bldg 3 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage



9. Bldg 3 roof system overview





Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

11. Bldg 3 roof system overview



12. Bldg 3 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

13. Bldg 3 roof system overview



14. Deficiency #1 - Damaged drip edge

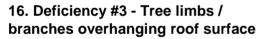
Deficiency #2 - Damaged / dented metal panels



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

15. Deficiency #3 - Tree limbs / branches overhanging roof surface







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 3, Bldg 3 - Garage

17. Deficiency #4 - Deteriorated sealant application at pipe flashing detail



18. Deficiency #4 - Deteriorated sealant application at pipe flashing detail



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

19. Deficiency #5 - Deteriorated previous sealant repairs at penetration flashing

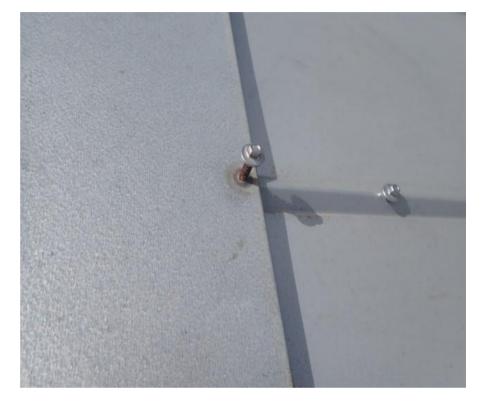


20. Deficiency #5 - Deteriorated previous sealant repairs at penetration flashing



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL Roof Area - Bldg 3, Bldg 3 - Garage

21. Deficiency #6 - Loose fasteners



Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

		Roof Sys	stem Da	ta		
	g 4, Bldg 4 - Garage A, Bldg 4 age B, Bldg 4 - Garage C	- Year Installe	d: 1993	Active	e Leaks: None Rep	ported
Size Sq. Ft. (+/-): 8,77	72 Remaini	ng Service Life (Years	s): 0-1 +/-	Leak	History: Unknown	
Roof Elevation: 12	+/- Averag	e Roof System R Valu	e: N/D	Leak Ser	nsitivity: Normal	
Roofing C	Contractor:	Guaran	tee Info:		Roof Sys	stem:
Company: Unknown	Gua	rantee (Y/N): No		Roof Syste	m Type: Architect	ural Metal Panels
Contact: Unknown	N	lanufacturer: Unknow	'n	Roof Membra	ne Type: 5V-Crimp	Galvanized Pane
Phone: Unknown	Gua	rantee Term: N/A		Membrane Co	ndition: Failed	
	Guarar	tee Number: N/A		Roof Surfaci	ngType: None	
	Exp	oiration Date: N/A		Recovery	System: No	
	oof Deck and	Vap	or Retarder:		Mainter	ance Items:
S	upport Structure:	Vapor Retarder: No		Mechanical	Damage: None Of	oserved
Deck Type: W	ood Sheathing	Type: N/A		Chemical E	Exposure: None Ol	oserved
Deck Thickness: N/	D	Location: N/A		Ro	of Traffic: Yes - Se	ervice
Roof Truss Type: N/D - No Access Attachment: N/A Debris: None Observed						
Truss Height: N/	D - No Access	Condition: N/A				
Truss Span: N/	D - No Access	Relative N/D				
Truss Spacing: N/	D - No Access	Humidity:				
E	Base Flashings:		Perim	eter Types:	Penetration	s: Quantity:
Flashing Type: N	I/A	Gravel Stop	Type: Pre-Fi	nished Metal	Soil Stack	ks: 🗹 12
Height: N	I/A	Gravel Stop Con	dition: Fair		Exhaust Uni	ts: 🗌 🛛 0
Coated: N	I/A	Parapet Wal	Type: N/A		Standard Curl	os: 🗹 3
Cant Strip Type: N	I/A	Parapet Wall Con	dition: N/A		Pipe Suppor	ts: 0
Condition: N	I/A	Wall Coping	Type: N/A		Pitch Par	ns: 🗌 🛛 0
Securement: N	I/A	Wall Coping Con	dition: N/A		Roof Hate	ch: 🗌 🛛 0
C	Counter Flashing:	Wall Copin	g Size: N/A		Hot Stacl	ks: 🗌 🛛 0
Reglet Joint:	Surface Mount:	Metal Coping Materia	I Type: N/A		Skyligh	ts: 0
Thru Wall:	🗌 Term Bar: 🗌	Metal Coping Qu	antity: N/A		Smoke Hate	sh: 🗌 🛛 0
CF Metal Type: N	/Α	Expansion Join	t Type: N/A		Oth	er: 🖌 2
Expansion Joint Condition: N/A						
	Drainage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage:	Good	Roof Drains:	N/A	N/A	0	N/A
Slope:	7 / 12 +/-	Scuppers:	N/A	N/A	N/A	N/A
Ponding Water:	No	Gutters: 🖌	4" x 4"	Aluminum	345 LF	Fair
Prainage Comments:	No ponding water observed during this inspection	Downspouts: 🗸] 3" x 4"	Aluminum	10	Fair

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

Performed: Membrane:	Results: No Membrane: N/A	Required: Membrane:	No	Moisture Survey Comple Results: N/A	eted: No
Flashing:	No Flashing: N/A	Flashing:	No	Number of Anomalies:	N/A
Repairs:	No Repairs: N/A	Repairs:	No	% of Wet Roof Area:	N/A
Other:	No Other: N/A	Other:	No	Total Sq. Ft. of Wet Root	Area: N/A Sq. F
Roof Sy	stem Composition				
Layer No	Layer Type	Thickness	A	tachment	dition
1	Wood Sheathing	N/D	N	echanical Not	Determined
2	Panel Underlayment (Type N/D)	N/D	N	echanical Not	Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	echanical Poo	r
Roof C	ondition Code: Faile	d	De	ficiencies Repair	Cost: N/A
Red	commendation: Repla	acement	Bu	dget Notes:	
	lacement Year: 2024		The	budget estimate does no	ot include pricing for

repair costs are based on all work being completed

under one work order.

Replacement Cost (+/-): \$165,000.00

Roof Area Comments:

Bldg 4, Bldg 4 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 345 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 -Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding	N/A - Not Applicable No Correction Action Required
	MN - Monitor	5 - Fifth Year Funding	

Inspection	n Date: <u>10/</u>	5/2023 Inspectors: Efren Villeda			
NUMBER	PRIORITY	DEFICIENCY DESCRIPTION	QUANTITY	UNIT	REPAIR
	CODE	DEFICIENCY SOLUTION	UNITS	PRICE	COST
1	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	4		
		Address noted condition by / during recommended roof system replacement	Ea		
3	MN	Loose fasteners	51		
		Address noted condition by / during recommended roof system replacement	Each		
4	MN	Deteriorated previous sealant repairs at penetration flashing	14		
		Address noted condition by / during recommended roof system replacement	Locations		
		Grand To	otal		N/A

Priority Code Totals:		

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

1. Building exterior front elevation overview





2. Building exterior side elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

3. Building exterior rear elevation overview





4. Building exterior side elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

5. Building exterior front elevation overview





6. Bldg 4 - Garage A roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

7. Bldg 4 - Garage A roof system overview



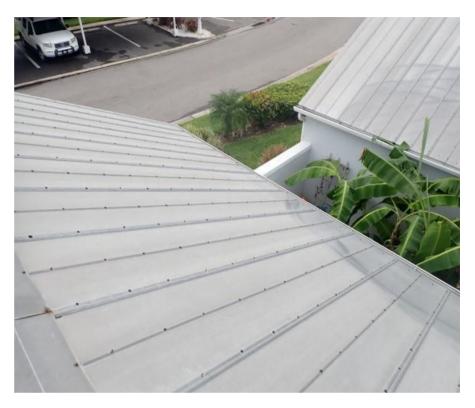




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

9. Bldg 4 - Garage B roof system overview





10. Bldg 4 - Garage B roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

11. Bldg 4 - Garage C roof system overview



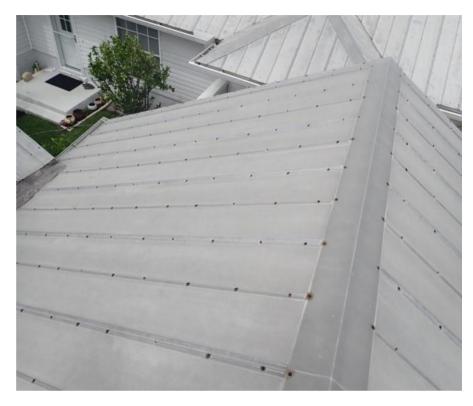


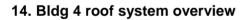


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

13. Bldg 4 - Garage C roof system overview





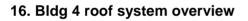


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

15. Bldg 4 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

17. Bldg 4 roof system overview



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

19. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly



20. Deficiency #3 - Loose fasteners

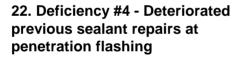


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

21. Deficiency #3 - Loose fasteners







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 4, Bldg 4 - Garage A, Bldg 4 - Garage B, Bldg 4 - Garage C

23. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

		Roof Syster	m Data		
	g 5, Bldg 5 - Garage A, Bldg age B, Bldg 5 - Garage C	5 - Year Installed: 1	993	Active Leaks: None Reported	
Size Sq. Ft. (+/-): 8,77	71 Remain	ning Service Life (Years): 0	-1 +/-	Leak History: Unknown	
Roof Elevation: 12	+/- Avera	ge Roof System R Value: N	//D	Leak Sensitivity: Normal	
Roofing C	Contractor:	Guarantee I	nfo:	Roof System:	
Company: Unknown	Gu	arantee (Y/N): No	Ro	of System Type: Architectural M	letal Panels
Contact: Unknown	I	Manufacturer: Unknown	Roof	Membrane Type: 5V-Crimp Galva	anized Pane
Phone: Unknown	Gu	arantee Term: N/A	Mem	prane Condition: Failed	
	Guara	intee Number: N/A	Roo	f SurfacingType: None	
	Ex	piration Date: N/A	Re	ecovery System: No	
	oof Deck and	Vapor R	etarder:	Maintenance	Items:
S	upport Structure:	Vapor Retarder: No	Me	chanical Damage: None Observe	ed
Deck Type: W	ood Sheathing	Type: N/A	Ch	emical Exposure: None Observe	ed
Deck Thickness: N/	D	Location: N/A		Roof Traffic: Yes - Service	
Roof Truss Type: N/	D - No Access	Attachment: N/A		Debris: None Observe	ed
Truss Height: N/	D - No Access	Condition: N/A			
Truss Span: N/	D - No Access	Relative N/D			
Truss Spacing: N/	D - No Access	Humidity:			
	Base Flashings:		Perimeter Types:	Penetrations:	Quantity:
	Base Flashings:	Gravel Stop Type	Perimeter Types: e: Pre-Finished Metal	Penetrations: Soil Stacks: ✔	
E	Base Flashings: I/A	Gravel Stop Type Gravel Stop Condition	e: Pre-Finished Metal		12
E Flashing Type: N	Base Flashings: I/A I/A		e: Pre-Finished Metal n: Fair	Soil Stacks:	12 0
E Flashing Type: N Height: N	B ase Flashings: I/A I/A	Gravel Stop Condition	e: Pre-Finished Metal n: Fair e: N/A	Soil Stacks: 🗹 Exhaust Units: 🗌	12 0 3
E Flashing Type: N Height: N Coated: N	B <mark>ase Flashings:</mark> I/A I/A I/A	Gravel Stop Condition Parapet Wall Type	e: Pre-Finished Metal n: Fair e: N/A n: N/A	Soil Stacks: 🗹 Exhaust Units: 🗌 Standard Curbs: 🗹	12 0 3 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N	Base Flashings: I/A I/A I/A I/A	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports:	12 0 3 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N	Base Flashings: I/A I/A I/A I/A I/A	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans:	12 0 3 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N	Base Flashings: I/A I/A I/A I/A I/A I/A Counter Flashing:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch:	12 0 3 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Size	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks:	12 0 3 0 0 0 0 0 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Size Metal Coping Material Type	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A y: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights:	12 0 3 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Size Metal Coping Material Type Metal Coping Quantit	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A y: N/A e: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights: Smoke Hatch:	12 0 3 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Condition Wall Coping Size Metal Coping Material Type Metal Coping Quantit Expansion Joint Type	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A y: N/A e: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights: Smoke Hatch: Other:	12 0 3 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount: Term Bar: /A Drainage:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Size Metal Coping Material Type Metal Coping Quantite Expansion Joint Type Expansion Joint Condition	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A e: N/A e: N/A n: N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights: Smoke Hatch: Other:	12 0 3 0 2
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall: CF Metal Type: N Drainage:	Base Flashings: I/A I/A I/A I/A I/A Counter Flashing: Surface Mount: Term Bar: /A Drainage:	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Condition Wall Coping Material Typ Metal Coping Quantit Expansion Joint Typ Expansion Joint Condition	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A e: N/A e: N/A e: N/A e: N/A e: N/A finite N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights: Smoke Hatch: Other: Quantity: Co	12 0 3 0 <t< td=""></t<>
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall: CF Metal Type: N Drainage:	Base Flashings: I/A I/A I/A I/A I/A I/A Counter Flashing: Surface Mount: Term Bar: /A Drainage: Good 7 / 12 +/-	Gravel Stop Condition Parapet Wall Type Parapet Wall Condition Wall Coping Type Wall Coping Condition Wall Coping Size Metal Coping Material Type Metal Coping Quantite Expansion Joint Type Expansion Joint Condition	e: Pre-Finished Metal n: Fair e: N/A n: N/A e: N/A n: N/A e: N/A e: N/A y: N/A e: N/A n: N/A Size: Material T N/A N/A	Soil Stacks: Exhaust Units: Standard Curbs: Pipe Supports: Pitch Pans: Roof Hatch: Hot Stacks: Skylights: Smoke Hatch: Other: 0	12 0 3 0 <t< td=""></t<>

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

Performed: Membrane:	Results: No Membrane: N/A	Required: Membrane:	No	Moisture Survey Completed: No Results: N/A	
Flashing:	No Flashing: N/A	Flashing:	No	Number of Anomalies:	N/A
Repairs:	No Repairs: N/A	Repairs:	No	% of Wet Roof Area:	N/A
Other:	No Other: N/A	Other:	No	Total Sq. Ft. of Wet Roof	Area: N/A Sq. F
Roof Sy	stem Composition				
Layer No	Layer Type	Thickness	A	tachment Con	dition
1	Wood Sheathing	N/D	N	echanical Not	Determined
2	Panel Underlayment (Type N/D)	N/D	N	echanical Not	Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	echanical Poo	r
Roof C	ondition Code: Faile	d	De	ficiencies Repair	Cost: N/A
Red	commendation: Repla	acement	Budget Notes:		
Replacement Year: 2024			The budget estimate does not include pricing for asbestos or lead abatement, if required, or for any unforeseen conditions that may exist. Deficiency		ot include pricing for

repair costs are based on all work being completed

under one work order.

Replacement Cost (+/-): \$165,000.00

Roof Area Comments:

Bldg 5 & Bldg 5 Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 378 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of improper fastening / attachment of the existing metal panel system, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Six (6) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding	N/A - Not Applicable No Correction Action Required
	MN - Monitor	4 - Fourth Year Funding 5 - Fifth Year Funding	

Inspection	n Date: <u>10/</u>	5/2023 Inspectors: Efren Villeda			
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		UNIT PRICE	REPAIR COST
1	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
2	MN	Improper fasteners (nails) used for primary securement of metal panel assembly	1		
		Address noted condition by / during recommended roof system replacement	Typical		
3	MN Loose fasteners		43		
		Address noted condition by / during recommended roof system replacement	Ea		
4	MN	Deteriorated previous sealant repairs at penetration flashing	14		
		Address noted condition by / during recommended roof system replacement	Locations		
5	MN	Rust development on metal panel	2		
		Address noted condition by / during recommended roof system replacement	Sq Ft		
6	MN	Damaged / dented metal panels	7		
		Address noted condition by / during recommended roof system replacement	Locations		

Grand Total

N/A

Priority Code Totals:	

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

1. Building exterior front elevation overview



2. Building exterior side elevation overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

3. Building exterior rear elevation overview





4. Building exterior side elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

5. Bldg 5 - Garage A roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

7. Bldg 5 - Garage B roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

9. Bldg 5 - Garage C roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

11. Bldg 5 roof system overview



12. Bldg 5 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

13. Bldg 5 roof system overview



14. Bldg 5 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

15. Bldg 5 roof system overview



16. Bldg 5 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

17. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly

Deficiency #3 - Loose fasteners



18. Deficiency #1 - Rusted fasteners

Deficiency #2 - Improper fasteners (nails) used for primary securement of metal panel assembly

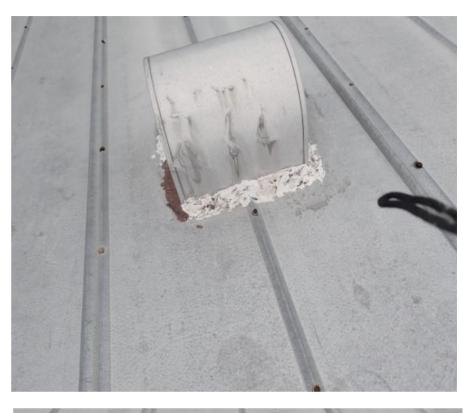
Deficiency #3 - Loose fasteners



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

19. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



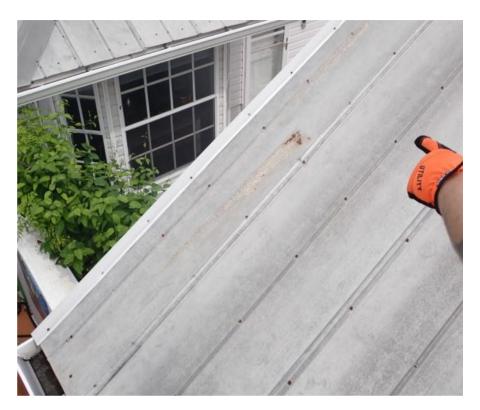
20. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

21. Deficiency #5 - Rust development on metal panel



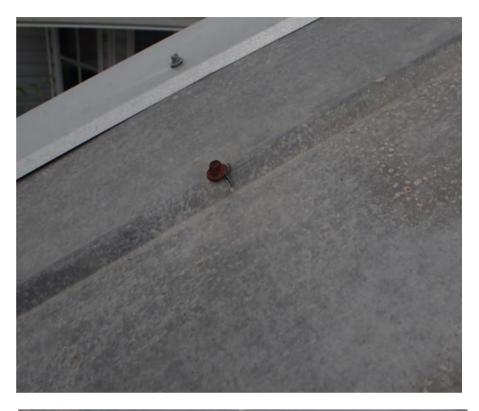
22. Deficiency #5 - Rust development on metal panel



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 5, Bldg 5 - Garage A, Bldg 5 - Garage B, Bldg 5 - Garage C

23. Deficiency #6 - Damaged / dented metal panels



24. Deficiency #6 - Damaged / dented metal panels



Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

		Roof Syste	m Data			
	g 6, Bldg 6 - Garage A, Bldg rage B, Bldg 6 - Garage C	6 - Year Installed: 7	1993	Active Leaks:	None Reported	
Size Sq. Ft. (+/-): 8,7	71 Remai	ning Service Life (Years):)-1 +/-	Leak History:	Unknown	
Roof Elevation: 12'	+/- Avera	ge Roof System R Value: 1	N/D	Leak Sensitivity:	Normal	
Roofing (Contractor:	Guarantee	Info:		Roof System:	
Company: Unknown	Gu	iarantee (Y/N): No		Roof System Type:	Architectural Metal	Panels
Contact: Unknown		Manufacturer: Unknown		Roof Membrane Type:	5V-Crimp Galvanize	ed Pane
Phone: Unknown	Gu	arantee Term: N/A		Membrane Condition:	Failed	
	Guara	antee Number: N/A		Roof SurfacingType:	None	
	Ex	piration Date: N/A		Recovery System:	No	
	oof Deck and	Vapor F	Retarder:		Maintenance Iten	ns:
S	upport Structure:	Vapor Retarder: No		Mechanical Damage	: None Observed	
Deck Type: W	lood Sheathing	Type: N/A		Chemical Exposure	: None Observed	
Deck Thickness: N	/D	Location: N/A		Roof Traffic	: Yes - Service	
Roof Truss Type: N	Roof Truss Type: N/D - No Access Attachment: N/A Debris: Yes - Roof Surface					
Truss Height: N	/D - No Access	Condition: N/A				
Truss Span: N	/D - No Access	Relative N/D				
Truss Spacing: N	/D - No Access	Humidity:				
_	/D - No Access Base Flashings:	Humidity:	Perimeter	Types: Po	enetrations: Qua	antity:
_	Base Flashings:	Humidity: Gravel Stop Typ			enetrations: Qua	antity: 8
[Base Flashings: N/A		e: Pre-Finish	ed Metal		_
I Flashing Type: ♪	Base Flashings: N/A N/A	Gravel Stop Typ	oe: Pre-Finishon: Fair	ed Metal Ex	Soil Stacks: 🗹	8
Flashing Type: N Height: N	Base Flashings: N/A N/A N/A	Gravel Stop Typ Gravel Stop Conditio	oe: Pre-Finish on: Fair oe: N/A	ed Metal Ex Stan	Soil Stacks: 🗹 📋	8 0
Flashing Type: ↑ Height: ↑ Coated: ↑	<mark>Base Flashings:</mark> N/A N/A N/A	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ	pe: Pre-Finish pn: Fair pe: N/A pn: N/A	ed Metal Ex Stan	Soil Stacks: 🗹 📋 haust Units: 🗌 📘 Idard Curbs: 🗹 📘	8 0 3
Flashing Type: N Height: N Coated: N Cant Strip Type: N	Base Flashings: N/A N/A N/A N/A	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A	ed Metal Ex Stan Pip	Soil Stacks: 🖌 📘 haust Units: 🗌 📘 dard Curbs: 🖌 📘	8 0 3 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N	Base Flashings: N/A N/A N/A N/A N/A	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio Wall Coping Typ	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pn: N/A	ed Metal Ex Stan Pip	Soil Stacks:	8 0 3 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N	Base Flashings: N/A N/A N/A N/A N/A N/A Counter Flashing:	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio Wall Coping Typ Wall Coping Conditio	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pn: N/A pn: N/A	ed Metal Ex Stan Pip	Soil Stacks: haust Units:	8 0 3 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint:	Base Flashings: N/A N/A N/A N/A N/A N/A Surface Mount:	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio Wall Coping Typ Wall Coping Conditio Wall Coping Siz	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pn: N/A ze: N/A ze: N/A	ed Metal Ex Stan Pip	Soil Stacks:	8 0 3 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: N/A N/A N/A N/A N/A Counter Flashing: Surface Mount:	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio Wall Coping Typ Wall Coping Conditio Wall Coping Siz Metal Coping Material Typ	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pn: N/A pon: N/A pe: N/A pe: N/A pe: N/A	ed Metal Ex Stan Pip	Soil Stacks: haust Units: dard Curbs: Supports: Roof Hatch: Skylights:	8 0 3 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint:	Base Flashings: N/A N/A N/A N/A N/A Counter Flashing: Surface Mount:	Gravel Stop Typ Gravel Stop Condition Parapet Wall Typ Parapet Wall Condition Wall Coping Typ Wall Coping Condition Wall Coping Siz Metal Coping Material Typ Metal Coping Quanti	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pn: N/A pon: N/A pon: N/A pon: N/A pon: N/A pon: N/A	ed Metal Ex Stan Pip	Soil Stacks:	8 0 3 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: N/A N/A N/A N/A N/A Counter Flashing: Surface Mount:	Gravel Stop Typ Gravel Stop Conditio Parapet Wall Typ Parapet Wall Conditio Wall Coping Typ Wall Coping Conditio Wall Coping Siz Metal Coping Material Typ Metal Coping Quanti Expansion Joint Typ	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A	ed Metal Ex Stan Pip	Soil Stacks:	8 0 3 0 0 0 0 0 6
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall:	Base Flashings: V/A V/A V/A V/A V/A V/A Counter Flashing: Surface Mount: Term Bar: //A Drainage:	Gravel Stop Typ Gravel Stop Condition Parapet Wall Typ Parapet Wall Condition Wall Coping Typ Wall Coping Condition Wall Coping Siz Metal Coping Material Typ Metal Coping Quantion Expansion Joint Typ Expansion Joint Condition	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pon: N/A ze: N/A ty: N/A pe: N/A ty: N/A pe: N/A pon: N/A	ed Metal Ex Stan Pip	Soil Stacks:	8 0 3 0 0 0 0 0 0 6
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall: CF Metal Type: N Drainage:	Base Flashings: V/A V/A V/A V/A V/A V/A Counter Flashing: Surface Mount: Term Bar: //A Drainage:	Gravel Stop Typ Gravel Stop Condition Parapet Wall Condition Wall Coping Typ Wall Coping Condition Wall Coping Siz Metal Coping Material Typ Metal Coping Quantion Expansion Joint Typ Expansion Joint Condition	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pon: N/A pe: N/A pon: N/A pe: N/A pon: N/A pon: N/A pon: N/A	ed Metal Ex Stan Pip Vaterial Type: Qua	Soil Stacks:	8 0 3 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Flashing Type: N Height: N Coated: N Cant Strip Type: N Condition: N Securement: N Reglet Joint: Thru Wall: CF Metal Type: N Drainage:	Base Flashings: V/A V/A V/A V/A V/A V/A Counter Flashing: Surface Mount: Term Bar: //A Drainage: Good 7 / 12 +/-	Gravel Stop Typ Gravel Stop Condition Parapet Wall Typ Parapet Wall Condition Wall Coping Typ Wall Coping Condition Wall Coping Condition Wall Coping Material Typ Metal Coping Material Typ Metal Coping Quantion Expansion Joint Condition Item: Roof Drains:	pe: Pre-Finish pn: Fair pe: N/A pn: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A pe: N/A pon: N/A Size: I N/A N	ed Metal Ex Stan Pip Vaterial Type: I/A	Soil Stacks: ✓ haust Units: □ haust Units: ✓ dard Curbs: ✓ be Supports: □ Pitch Pans: □ Pitch Pans: □ Roof Hatch: □ Hot Stacks: □ Skylights: □ Other: ✓ 0 N/	8 0 3 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Performed: Membrane: Flashing: Repairs: Other:	Results:NoMembrane:N/ANoFlashing:N/ANoRepairs:N/ANoOther:N/A	Required: Membrane: Flashing: Repairs: Other:	No No No	Moisture Survey Completed: No Results: N/A Number of Anomalies: N/A % of Wet Roof Area: N/A Total Sq. Ft. of Wet Roof Area: N/A
Roof S Layer No	/stem Composition	Thickness	A	Attachment Condition
1	Wood Sheathing	N/D	N	Mechanical Not Determined
2	Panel Underlayment (Type N/D)	N/D	N	Mechanical Not Determined
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	Mechanical Poor
	Condition Code: Failed			eficiencies Repair Cost: \$500.00 udget Notes:

unforeseen conditions that may exist. Deficiency

under one work order.

repair costs are based on all work being completed

Replacement Cost (+/-): \$165,000.00

Roof Area Comments:

Bldg 6 & Bldg 6 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 313 LF of gutters and 11 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Five (5) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the noted

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

deficiencies has been limited to addressing one area of open flashing within the drainage plane of the garage structures, and removing organic debris from the gutter drainage system to allow proper drainage of the roof system until time that the replacement is completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor MN - Monitor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding 5 - Fifth Year Funding	N/A - Not Applicable No Correction Action Required
		5 - Filti Teal Fulluling	

nopeotion	n Date: <u>10/</u>	5/2023 Inspectors: <u>Efren Villeda</u>			
NUMBER	PRIORITY	DEFICIENCY DESCRIPTION	QUANTITY	UNIT	REPAIR
	CODE	DEFICIENCY SOLUTION	UNITS	PRICE	COST
1	MN	Loose fasteners	73		
		Address noted condition by / during recommended roof system replacement	Ea		
2	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
3	MN	Deteriorated previous sealant repairs at penetration flashing	13		
		Address noted condition by / during recommended roof system replacement	Locations		
4	М	Debris in gutter	20	\$7.50	\$150.00
		Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	LnFt		
5	М	Open condition at valley flashing	2	\$175.00	\$350.00
		To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi- course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	LnFt		

Grand Total

\$500.00

Priority Code Totals:

Minor

\$500.00

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

1. Building exterior front elevation overview





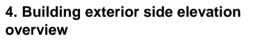


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

3. Building exterior rear elevation overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

5. Bldg 6 - Garage A roof system overview



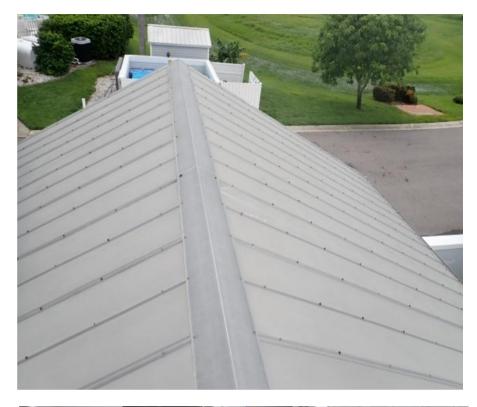
6. Bldg 6 - Garage A roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

7. Bldg 6 - Garage B roof system overview



8. Bldg 6 - Garage B roof system overview

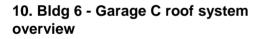


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

9. Bldg 6 - Garage B roof system overview



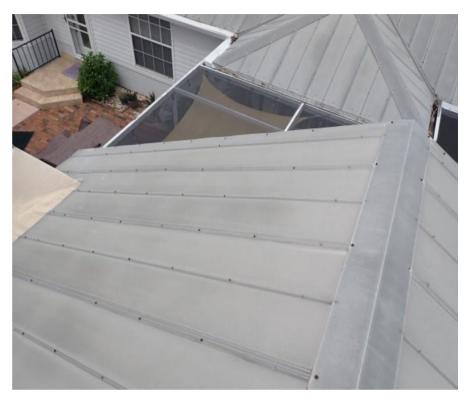




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

11. Bldg 6 - Garage C roof system overview



12. Bldg 6 - Garage C roof system overview

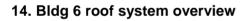


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

13. Bldg 6 roof system overview





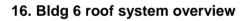


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

15. Bldg 6 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

17. Bldg 6 roof system overview







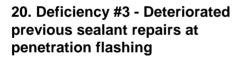
Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

19. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners





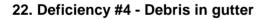


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

21. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing



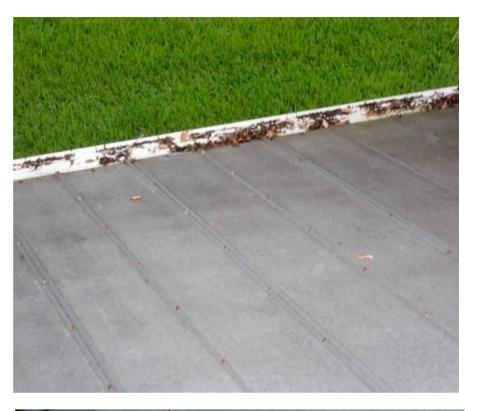




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

23. Deficiency #4 - Debris in gutter



24. Deficiency #5 - Open conditions at gravel stop



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

25. Deficiency #5 - Open condition at valley flashing



Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

		Roof Sys	tem Dat	a		
	g 8, Bldg 8 - Garage A, Bldg 8 age B, Bldg 8 - Garage C	- Year Installed	d: 1993	Active	Leaks: None Rep	ported
Size Sq. Ft. (+/-): 8,7	71 Remaini	ng Service Life (Years): 0-1 +/-	Leak	History: Unknown	
Roof Elevation: 12'	+/- Averag	e Roof System R Value	e: N/D	Leak Sen	sitivity: Normal	
Roofing (Contractor:	Guarant	tee Info:		Roof Sys	stem:
Company: Unknown	Gua	rantee (Y/N): No		Roof Syste	m Type: Architect	ural Metal Panels
Contact: Unknown	N	lanufacturer: Unknow	n	Roof Membran	e Type: 5V-Crimp	Galvanized Pane
Phone: Unknown	Gua	rantee Term: N/A		Membrane Co	ndition: Failed	
	Guarar	tee Number: N/A		Roof Surfacii	ngType: None	
	Exp	oiration Date: N/A		Recovery S	System: No	
	oof Deck and	Vap	or Retarder:		Mainter	ance Items:
S	upport Structure:	Vapor Retarder: No		Mechanical	Damage: None Of	oserved
Deck Type: W	ood Sheathing	Type: N/A		Chemical E	xposure: None Ob	oserved
Deck Thickness: N	′D	Location: N/A		Roc	of Traffic: Yes - Se	ervice
Roof Truss Type: N	/D - No Access	Attachment: N/A			Debris: None Of	oserved
Truss Height: N	/D - No Access	Condition: N/A				
Truss Span: N	/D - No Access	Relative N/D				
Truss Spacing: N	D - No Access	Humidity:				
E	Base Flashings:		Perime	eter Types:	Penetration	s: Quantity:
Flashing Type:	J/A	Gravel Stop	Type: Pre-Fir	nished Metal	Soil Stack	(s: ✔ 9
Height: N	J/A	Gravel Stop Cond	dition: Fair		Exhaust Uni	ts: 🗌 🛛 0
Coated: N	J/A	Parapet Wall	Type: N/A		Standard Curb	os: 🖌 – 3
Cant Strip Type: N	I/A	Parapet Wall Cond	dition: N/A		Pipe Suppor	ts: 🗌 🛛 0
Condition: N	I/A	Wall Coping	Type: N/A		Pitch Par	ns: 🗌 🛛 0
Securement: N	I/A	Wall Coping Con	dition: N/A		Roof Hate	:h: 🗌 🛛 0
[Counter Flashing:	Wall Coping	g Size: N/A		Hot Stack	(s: 🗌 0
Reglet Joint:		Metal Coping Material	Type: N/A		Skyligh	ts: 🗌 🛛 0
Thru Wall:		Metal Coping Qu	antity: N/A		Smoke Hate	ch: 🗌 🛛 0
CF Metal Type: N		Expansion Joint	Type: N/A		Oth	er: 🖌 6
		Expansion Joint Con	dition: N/A			
	Drainage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage:	Good	Roof Drains:	N/A	N/A	0	N/A
Slope:	7 / 12 +/-	Scuppers:	N/A	N/A	N/A	N/A
Ponding Water:	No	Gutters: 🖌	4" x 4"	Aluminum	420 LF	Fair

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

Performed: Membrane: Flashing: Repairs: Other:	Results:NoMembrane:N/ANoFlashing:N/ANoRepairs:N/ANoOther:	Required: Membrane: Flashing: Repairs: Other:	No No No No	Moisture Survey Completed: No Results: N/A Number of Anomalies: N/A % of Wet Roof Area: N/A Total Sq. Ft. of Wet Roof Area: N/A	Sq. Ft
Roof S Layer No	ystem Composition	Thickness	A	Attachment Condition	
1	Wood Sheathing	N/D	Ν	Mechanical Not Determined	
2	Panel Underlayment (Type N/D)	N/D	Ν	Mechanical Not Determined	
3	5V-Crimp Galvanized Metal Panel	29 Gauge	N	Mechanical Poor	
	Condition Code: Failed			eficiencies Repair Cost: \$450.00 udget Notes:	
				e budget estimate does not include pricing for	

unforeseen conditions that may exist. Deficiency

under one work order.

repair costs are based on all work being completed

Replacement Cost (+/-): \$165,000.00

Roof Area Comments:

Bldg 8 & Bldg 8 - Garages A - C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 420 LF of gutters and 10 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Four (4) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

noted deficiencies has been limited to repair of exterior envelope conditions not directly related to the roof system to be replaced. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding	N/A - Not Applicable No Correction Action Required
	MN - Monitor	5 - Fifth Year Funding	

Inspection	nspection Date: <u>10/5/2023</u> Inspectors: <u>Efren Villeda</u>					
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION	QUANTITY		REPAIR COST	
	CODE	DEFICIENCY SOLUTION	UNITS	TRICE	0001	
1	MN	Loose fasteners	33			
		Address noted condition by / during recommended roof system replacement	Ea			
2	MN	Rusted fasteners	4			
		Remove and replace missing or rusted fasteners with new hex head fasteners with neoprene bonded washers	Typical			
3	MN	Deteriorated previous sealant repairs at penetration flashing	15			
		Address noted condition by / during recommended roof system replacement	Locations			
4	м	Damaged vinyl siding	2	\$225.00	\$450.00	
		Remove damaged section of vinyl siding and replace with new to match existing type, color, and profile	Locations			

Grand Total

\$450.00

Priority Code Tota	ls:
Minor	\$450.00

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

1. Building exterior front elevation overview





2. Building exterior front elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

3. Building exterior side elevation overview





4. Building exterior rear elevation overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

5. Building exterior side elevation overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

7. Bldg 8 - Garage B roof system overview





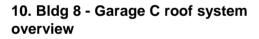
8. Bldg 8 - Garage B roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

9. Bldg 8 - Garage B roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

11. Bldg 8 - Garage C roof system overview



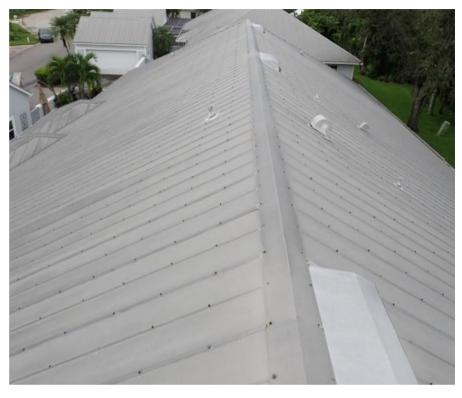
12. Bldg 8 - Garage C roof system overview

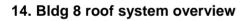


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

13. Bldg 8 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

15. Bldg 8 roof system overview





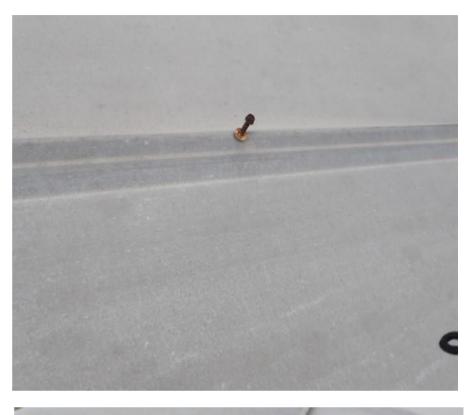
16. Bldg 8 roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

17. Deficiency #1 - Loose fasteners

Deficiency #2 - Rusted fasteners



18. Deficiency #1 - Loose fasteners Deficiency #2 - Rusted fasteners

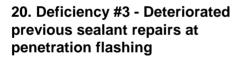


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

19. Deficiency #3 - Deteriorated previous sealant repairs at penetration flashing







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

21. Deficiency #4 - Damaged vinyl siding



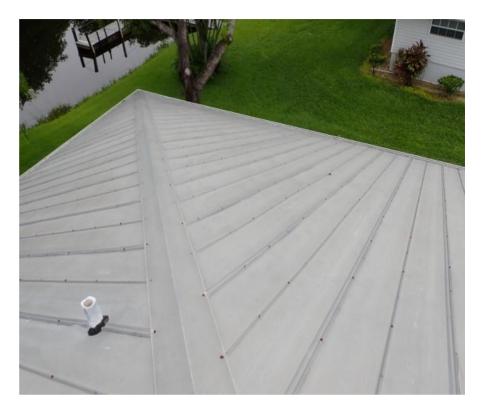
22. Deficiency #4 - Damaged vinyl siding



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

23. Bldg 8 roof system overview



Roof Area Information For:

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

		Roof Syste	m Dat	а		
	3ldg 10 - Garage A, Bldg ge B, Bldg 10 - Garage C	Year Installed:	1993	Active I	eaks: None Rep	ported
Size Sq. Ft. (+/-): 8,771	Remaining Ser	vice Life (Years):	0-1 +/-	Leak Hi	story: Unknown	
Roof Elevation: 12' +/-	Average Roof	System R Value:	N/D	Leak Sens	itivity: Normal	
Roofing Contra	ictor:	Guarantee	Info:		Roof Sys	stem:
Company: Unknown	Guarantee	(Y/N): No		Roof System	Type: Architect	ural Metal Panels
Contact: Unknown	Manufac	turer: Unknown		Roof Membrane	Type: 5V-Crimp	Galvanized Pane
Phone: Unknown	Guarantee	Term: N/A		Membrane Cone	dition: Failed	
	Guarantee Nu	mber: N/A		Roof Surfacing	JType: None	
	Expiration	Date: N/A		Recovery Sy	stem: No	
	eck and	Vapor I	Retarder:		Mainter	ance Items:
Suppor	t Structure: Vapor	Retarder: No		Mechanical D	amage: None Ol	oserved
Deck Type: Wood S	heathing	Type: N/A		Chemical Ex	oosure: None Ol	oserved
Deck Thickness: N/D	l	ocation: N/A		Roof	Traffic: Yes - Se	ervice
Roof Truss Type: N/D - N	Access Atta	achment: N/A			Debris: Yes - Gu	utters
Truss Height: N/D - N	Access C	ondition: N/A				
Truss Span: N/D - N		Relative N/D				
Truss Spacing: N/D - No	Access	lumidity:				
Base I	lashings:		Perime	eter Types:	Penetration	s: Quantity:
Flashing Type: N/A		Gravel Stop Typ	be: Pre-Fin	ished Metal	Soil Stack	ks: 🗹 🦳 9
Height: N/A	G	avel Stop Condition	on: Fair		Exhaust Uni	ts: 🗌 🛛 0
Coated: N/A		Parapet Wall Typ	be: N/A		Standard Curl	os: 🗹 3
Cant Strip Type: N/A	Pa	apet Wall Condition	on: N/A		Pipe Suppor	ts: 0
Condition: N/A		Wall Coping Typ	be: N/A		Pitch Par	ns: 🗌 🛛 0
Securement: N/A	W	all Coping Condition	on: N/A		Roof Hate	sh: 🗌 🛛 0
Count	er Flashing:	Wall Coping Si	ze: N/A		Hot Stacl	ks: 🗌 🛛 0
Reglet Joint: S	urface Mount: 🗌 Metal C	Coping Material Ty	pe: N/A		Skyligh	ts: 0
		etal Coping Quant	ity: N/A		Smoke Hate	
CF Metal Type: N/A	E	xpansion Joint Ty	pe: N/A		Oth	er: 🖌 6
	Expan	sion Joint Condition	on: N/A			
Dra	nage:	Item:	Size:	Material Type:	Quantity:	Condition:
Drainage: Good	R	oof Drains:	N/A	N/A	0	N/A
Slope: 7 / 12	2 +/-	Scuppers:	N/A	N/A	N/A	N/A
Ponding Water: No		Guttore:		A la	0 40 L E	
Foliding water. No		Gutters: 🖌	4" x 4"	Aluminum	342 LF	Fair

Roof Area Information For:

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Performed:	Results:	[Required:	Moisture Survey 0	Completed: No	
Membrane:	No Membrane: N/A	Ν	Membrane: No	Results: N/A		
Flashing:	No Flashing: N/A		Flashing: No	Number of Anoma	alies: N	I/A
Repairs:	No Repairs: N/A		Repairs: No	% of Wet Roof Are	a: N	I/A
Other:	No Other: N/A		Other: No	Total Sq. Ft. of We	et Roof Area:	I/A Sq. I
Roof S Layer No	ystem Compositio	n Thicki	ness	Attachment	Condition	
1	Wood Sheathing	N/D		Mechanical	Not Determined	
2	Panel Underlayment (N/D)	Type N/D	I	Mechanical	Not Determined	
3	5V-Crimp Galvanized Panel	Metal 29 Ga	luge	Mechanical	Poor	
Roof	Condition Code:	Failed	D	eficiencies Rep	oair Cost: \$65	0.00
	commendation:	Renlacemen	t B	udget Notes:		
Re	oonnon aan onn	Replacemen				

unforeseen conditions that may exist. Deficiency

under one work order.

repair costs are based on all work being completed

Replacement Cost (+/-): \$165,000.00

Roof Area Comments:

Bldg 10 & Bldg 10 - Garages A-C:

The existing roof system is a 5V-Crimp architectural metal panel assembly installed over roof underlayment and wood sheathing (note: structural components not confirmed from interior - occupied interior space). Drainage is facilitated by 342 LF of gutters and 9 downspouts. The existing roof system was reportedly installed in 1993. No further information pertaining to panel manufacturer or installation contractor has been provided by contractual parties.

The overall condition of these roof areas is considered failed. The failed condition assignment is based on the observation of deteriorated, rusted, and loose fasteners / primary attachment of roof system typically throughout the roof installation, and the extent of repair expenditure that would be associated to correcting this issue. Due to the age of the existing panels, it is not economically justifiable to repair the existing system. Seven (7) types of deficient conditions were observed during the course of this investigation. A comprehensive list of these deficient conditions can be found in the Detailed Deficiency Listing section of this report. With the current overall condition of the existing roof system considered failed, corrections to the

Roof Area Information For:

Village at Indian Creek 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

noted deficiencies has been limited to addressing one area of open flashing within the drainage plane of the garage structures, and removing organic debris from the gutter drainage system to allow proper drainage of the roof system until time that the replacement is completed. The roof system has surpassed its useful service life and should be budgeted for replacement within the next 12 months.

The roof replacement budget estimate is based on the existing metal panel roof system being removed and replaced with a new metal panel roof system that includes new trim metals, gutters, flashings, and a manufacturer 15 or 20 year watertight warranty.

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

Deficiency Priority Codes:	Current Year Priorities E - Emergency C -Critical S - Significant M - Minor MN - Monitor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding	N/A - Not Applicable No Correction Action Required
	IVIN - IVIONITOR	5 - Fifth Year Funding	

Inspection Date: <u>10/5/2023</u> Inspectors: <u>Efren Villeda</u>					
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION	QUANTITY UNITS	UNIT PRICE	REPAIR COST
1	м	Debris in gutter	20	\$7.50	\$150.00
		Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	LnFt		
2	MN	Loose fasteners	56		
		Address noted condition by / during recommended roof system replacement	Ea		
3	MN	Rusted fasteners	4		
		Address noted condition by / during recommended roof system replacement	Typical		
4	MN	Deteriorated previous sealant repairs at penetration flashing	12		
		Address noted condition by / during recommended roof system replacement	Locations		
5	MN	Missing end cap on gutter	1		
		Address noted condition by / during recommended roof system replacement	Location		
6	MN	Severely deteriorated flashing membrane in roof valley / drainage plane	1		
		Address noted condition by / during recommended roof system replacement	Typical		
7	М	Open condition at valley flashing	4	\$125.00	\$500.00
		To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi- course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	LnFt		

Detailed Deficiency Listing For:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

	ey Priority n Date: <u>10/5</u>	C -Critical S - Significant M - Minor MN - Monitor	Future Year Maintenance 1 - First Year Funding 2 - Second Year Funding 3 - Third Year Funding 4 - Fourth Year Funding 5 - Fifth Year Funding	N/A - Not App No Correction Required	•	
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION	QUANTITY UNITS	UNIT PRICE	REPAIR COST	

Grand Total

\$650.00

Priority Code Tot	als:	
Minor	\$650.00	

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

1. Building exterior front elevation overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

3. Building exterior side elevation overview



4. Building exterior rear elevation overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

5. Building exterior side elevation overview



6. Bldg 10 roof system overview



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

7. Bldg 10 roof system overview



8. Bldg 10 roof system overview

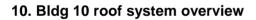


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

9. Bldg 10 roof system overview







Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

11. Bldg 10 roof system overview





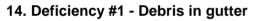
12. Bldg 10 roof system overview

Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

13. Deficiency #1 - Debris in gutter





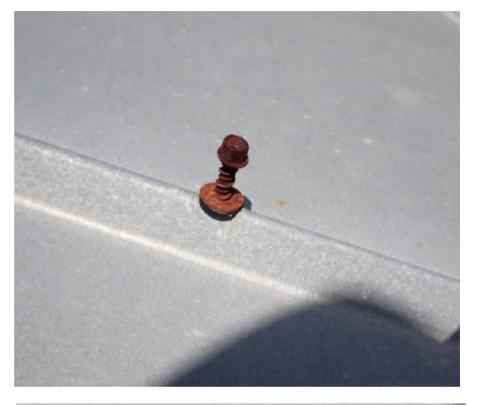


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

15. Deficiency #2 - Loose fasteners

Deficiency #3 - Rusted fasteners



16. Deficiency #2 - Loose fasteners Deficiency #3 - Rusted fasteners

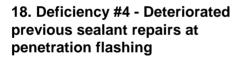


Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

17. Deficiency #4 - Deteriorated previous sealant repairs at penetration flashing



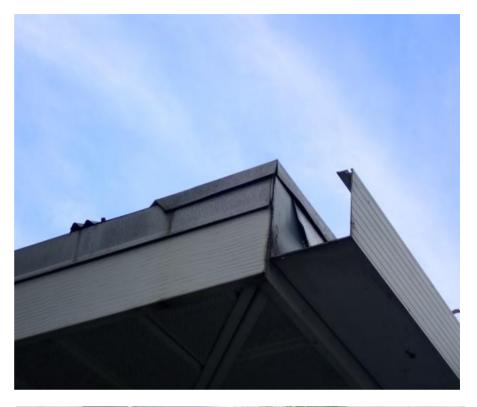




Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

19. Deficiency #5 - Missing end cap on gutter



20. Deficiency #6 - Severely deteriorated flashing membrane in roof valley / drainage plane



Village at Indian Creek - 15371 River Vista Drive North Fort Myers, FL

Roof Area - Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

21. Deficiency #6 - Severely deteriorated flashing membrane in roof valley / drainage plane



22. Deficiency #7 - Open condition at valley flashing



Village of Indian Creek (HOA)	Contractor Name:
Sarah Nordin	
<u>Tel:</u> (706) 224-8178	Office:
Sarah.w.nordin@gmail.com	<u>Cell:</u>
	E-Mail

Please complete the bid form in full providing a price for each item listed and submit your bid via email to the facility manager. Please contact RCS with any questions you may have.

It is the contractor's responsibility to visit the project site prior to submitting their bid to fully inform themself as to the location and overall quantity of work required. By submitting your bid, it shall be expected that all repairs shall be completed as outlined below and at the locations indicated on the roof plan drawings. All work must be completed to the satisfaction of the Owner, according to roof repair standards within the industry and with compatible roofing materials. Prior to final payment being made.

Note: The deficient condition numbering system listed below corresponds to the deficiency numbers used on the roof plan drawings for those items bids are being requested for.

Roof Repair Bid Form:

Village at Indian Creek

15371 River Vista Drive - North Fort Myers, FL

Bidg 1, Bidg 1 - Garage					
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		PROPOSED REPAIR COST	
1	М	Deteriorated pipe flashing detail Remove existing flashing boot, remove deteriorated sealants from penetration and surrounding panel surface and clean, install new pre-manufactured flashing boot set in butyl non-curing sealant and secured at the perimeter flange 1-in. o.c. max	<u>8</u> Locations	\$	
2	М	Deteriorated previous sealant repairs at penetration flashing Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.	<u>8</u> Locations	\$	
3	М	Tree limbs / branches overhanging roof surface Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	<u>1</u> Location	\$	

Bldg 1, Bldg 1 - Garage

Roof Repair Bid Form:

Village at Indian Creek 15371 River Vista Drive - North Fort Myers, FL

M Loose, missing or rusted fasteners or deteriorated 2 neoprene washers Ea Ea \$ Remove and replace loose or rusted fasteners with new oversized hex head fasteners with neoprene bonded

washers

4

Bldg 10, Bldg 10 - Garage A, Bldg 10 - Garage B, Bldg 10 - Garage C

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		PROPOSED REPAIR COST
1	М	Debris in gutter Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts	<u>20</u> LnFt	\$
7	М	Open condition at valley flashing To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi- course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	<u>4</u> LnFt	\$

Bldg 3, Bldg 3 - Garage

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		PROPOSED REPAIR COST
1	Μ	Damaged drip edge Remove panel fasteners as required to facilitate removal of damaged panel and drip edge segment (10 linear feet). Remove and properly dispose of damaged components, furnish and install roof drip edge to match the existing, furnish and install new 5V-Crimp galvanized roof panel installed with new butyl non-curing sealant and hex head self-tapping fasteners which include a neoprene bonded washer installed per the manufacturer specified attachment rate.	<u>1</u> Location	\$
3	М	Tree limbs / branches overhanging roof surface	1	^
		Cut back tree branches / limbs to prevent damage to roof surface and reduce organic debris accumulation	Location	\$

Roof Repair Bid Form:

Village at Indian Creek 15371 River Vista Drive - North Fort Myers, FL

4	м	Deteriorated sealant application at pipe flashing detail	<u>4</u>	
		Remove all loose / deteriorated sealant at the affected location, clean penetration, install water cut-off sealant inside top flange of flashing boot and reseal with industrial grade polyurethane sealant of a color to match existing	■ Locations	\$
5	М	Deteriorated previous sealant repairs at penetration flashing	<u>12</u> Locations	\$
		Remove previous repair materials as required, clean the penetration and surrounding panel surface, furnish and install three (3) course elastomeric flashing detail with polyester embedded reinforcement.		
6	м	Loose fasteners	1	
		Remove and replace loose, missing, or rusted fasteners with new oversized hex head fasteners with neoprene bonded washers	Ea	\$

Bldg 6, Bldg 6 - Garage A, Bldg 6 - Garage B, Bldg 6 - Garage C

NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION	QUANTITY UNITS	PROPOSED REPAIR COST
4	М	Debris in gutter	<u>20</u> LnFt	\$
		Remove and properly dispose of all debris to provide positive drainage from gutter to downspouts		
5	м	Open condition at valley flashing	<u>2</u>	\$
		To mitigate potential of moisture intrusion until time of the roof system replacement, clean area and install multi- course elastomeric repair with embedded polyester reinforcing scrim over the open condition. Permanently address valley detail concurrently with roof system replacement	LnFt	Φ

Bldg 8, Bldg 8 - Garage A, Bldg 8 - Garage B, Bldg 8 - Garage C

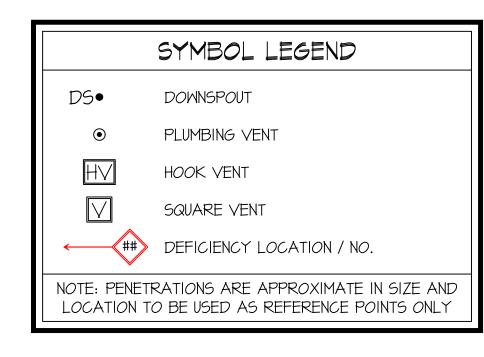
NUMBER	PRIORITY CODE	DEFICIENCY DESCRIPTION DEFICIENCY SOLUTION		PROPOSED REPAIR COST	
4	М	Damaged vinyl siding	2	¢	
		Remove damaged section of vinyl siding and replace with new to match existing type, color, and profile	Locations	\$	

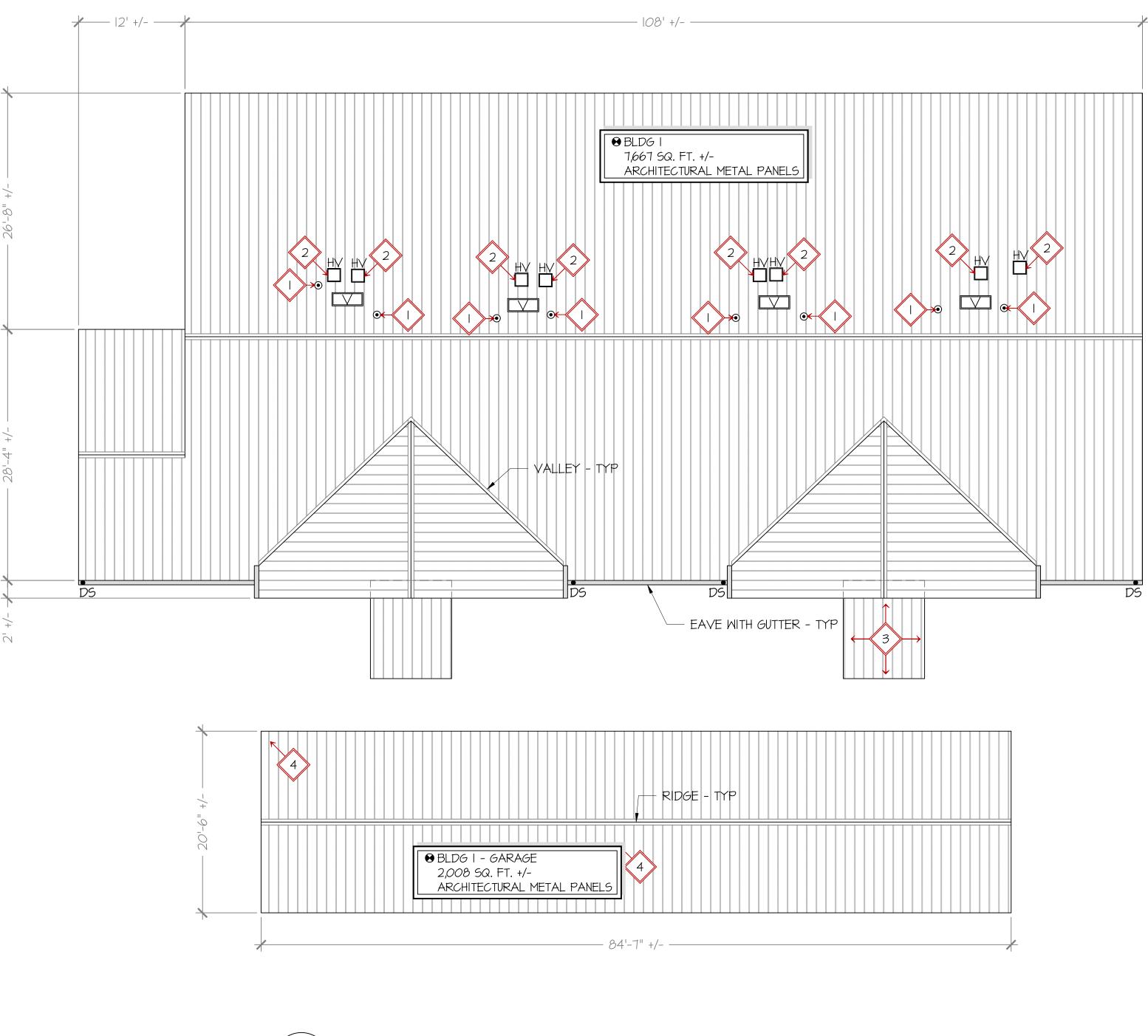
Roof Repair Bid Form:

Village at Indian Creek

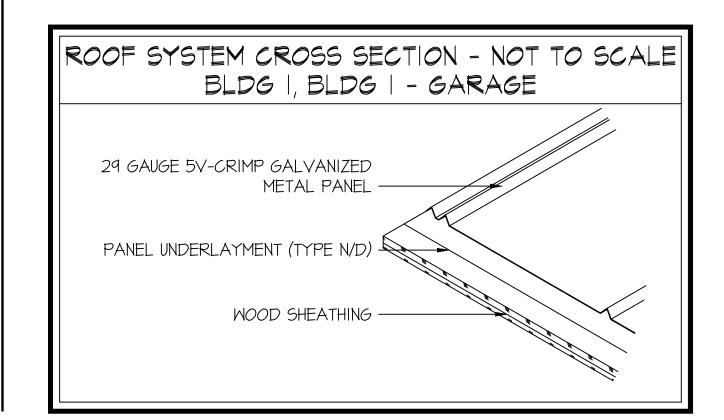
15371 River Vista Drive - North Fort Myers, FL

Contractor Name:		
Contact:		
Phone:	Total Proposed Bid:	\$









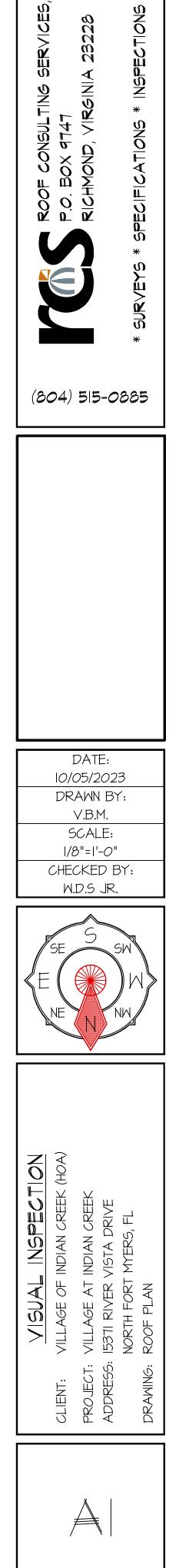
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TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-AI

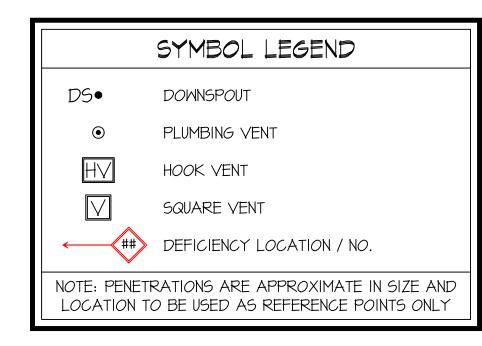
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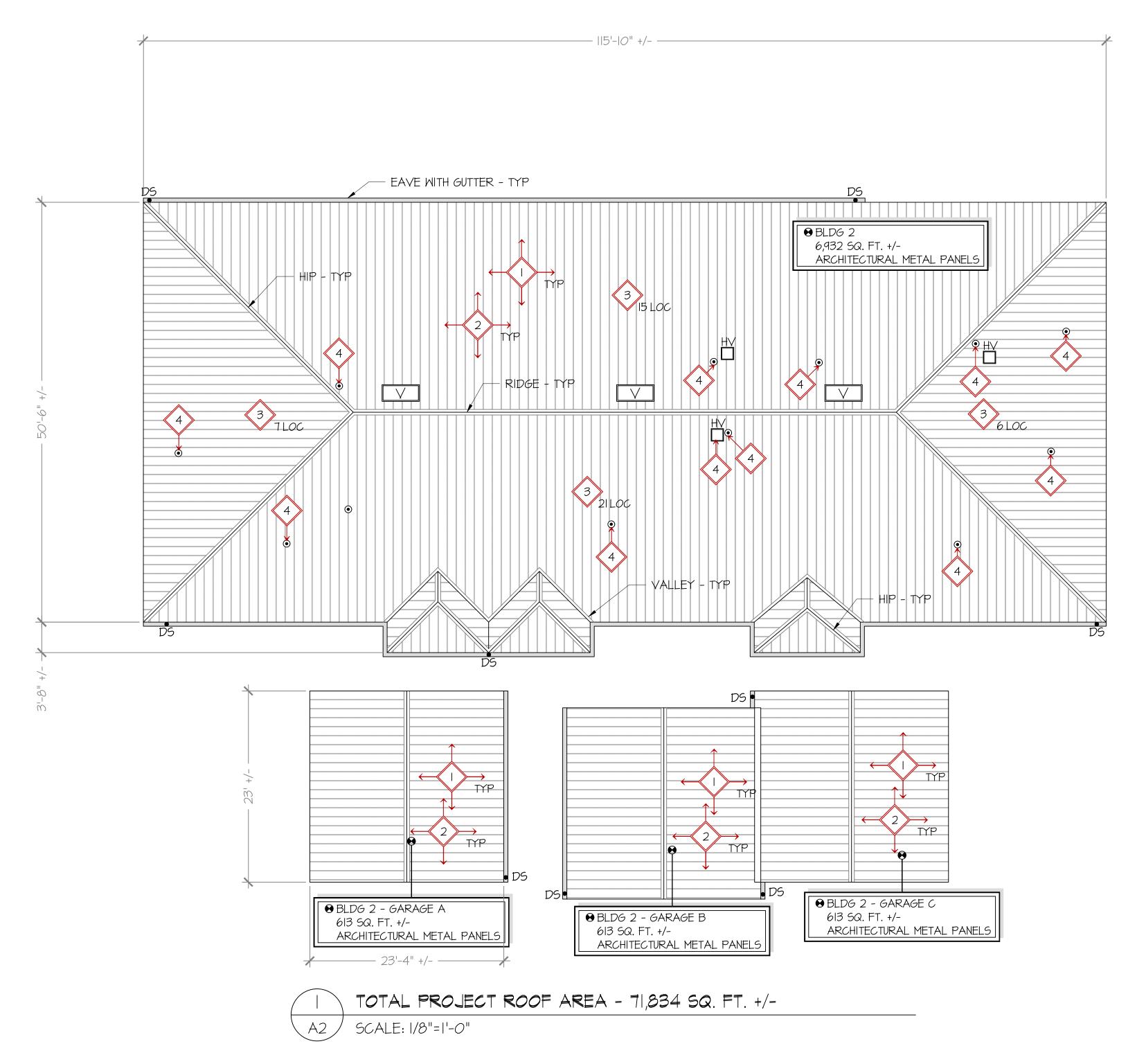
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	E NE
KEY PLAN - NOT TO SCALE	VILLAGE OF INDIAN CREEK (HOA) VILLAGE OF INDIAN CREEK (HOA)
	CLIENT: VILL CLIENT: VILL PROJECT: VILL
FAILED POOR FAIR GOOD	Á
O-I YEARS REMAINING SERVICE LIFE 2-4 YEARS REMAINING SERVICE LIFE SERVICE LIFE SERVICE LIFE SERVICE LIFE	

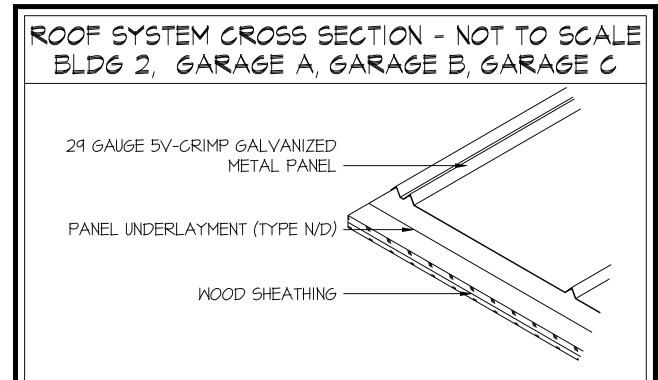
DEFICIENCY LIST - BUILDING DETERIORATED PIPE FLASHING DETAIL 2 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING 3 TREE LIMBS / BRANCHES OVERHANGING ROOF SURFACE 4 LOOSE, MISSING OR RUSTED FASTENERS OR DETERIORATED NEOPRENE WASHERS



N N







DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING	ROOF CONSULTI P.O. BOX 9747 RICHMOND, VIRG
	* SYEVES *
	(804) 515-0885
	DATE: 10/05/2023 DRAWN BY: V.B.M. SCALE: 1/8"=1'-0" CHECKED BY: W.D.S JR.
	NW NE NW SE
	VISUAL INSPECTION VILLAGE OF INDIAN CREEK (HOA) VILLAGE AT INDIAN CREEK (HOA) VILLAGE AT INDIAN CREEK I5371 RIVER VISTA DRIVE NORTH FORT MYERS, FL ROOF PLAN
KEY PLAN - NOT TO SCALE	VISUAL INSPECT CLIENT: VILLAGE OF INDIAN CREEK PROJECT: VILLAGE AT INDIAN CREEK ADDRESS: 15371 RIVER NORTH FORT MYERS, FL NORTH FORT MYERS, FL DRAMING: ROOF PLAN
FAILED POOR FAIR GOOD 0-1 YEARS REMAINING SERVICE LIFE 2-4 YEARS REMAINING SERVICE LIFE 5-7 YEARS REMAINING SERVICE LIFE 8+ YEARS REMAINING SERVICE LIFE	A2
	L

DEFICIENCY LIST - BUILDING 2

2 IMPROPER FASTENERS (NAILS) USED FOR PRIMARY SECUREMENT OF METAL PANEL

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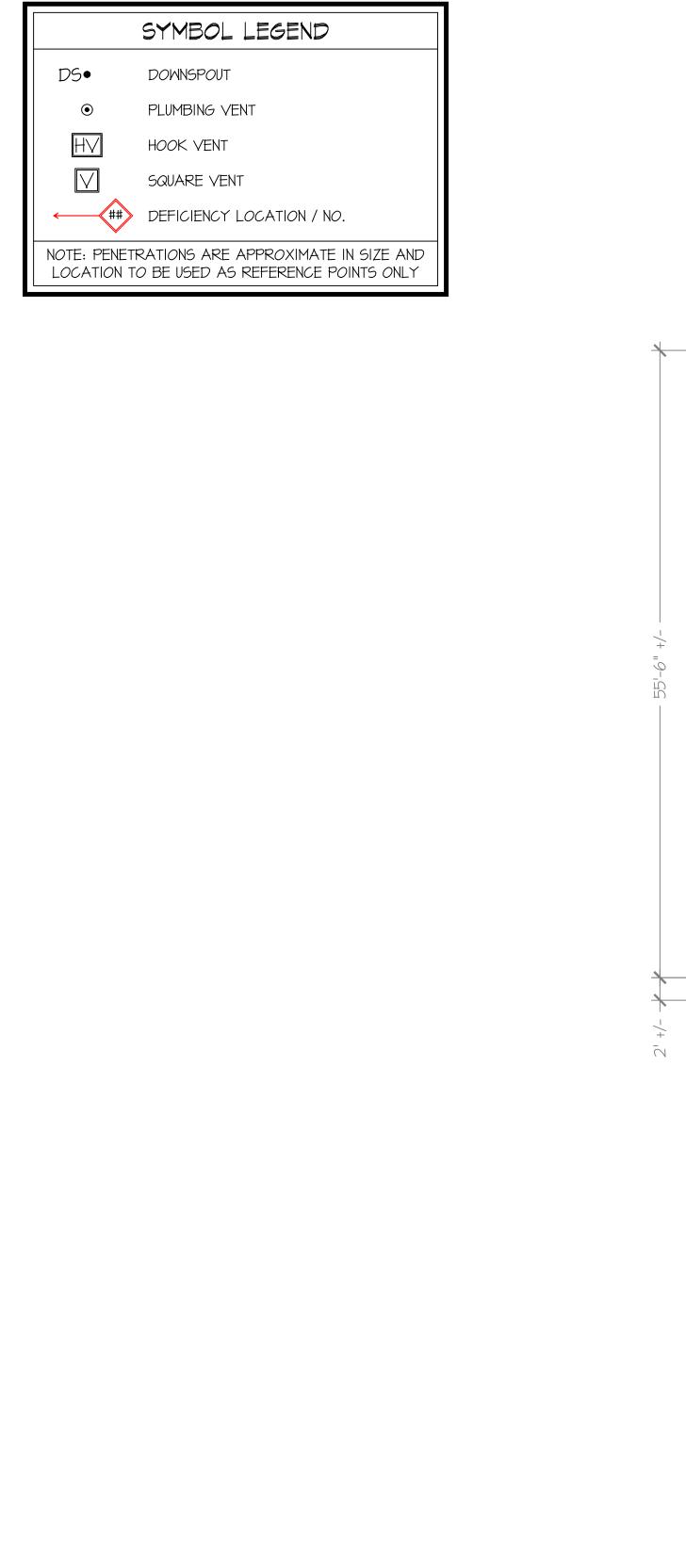
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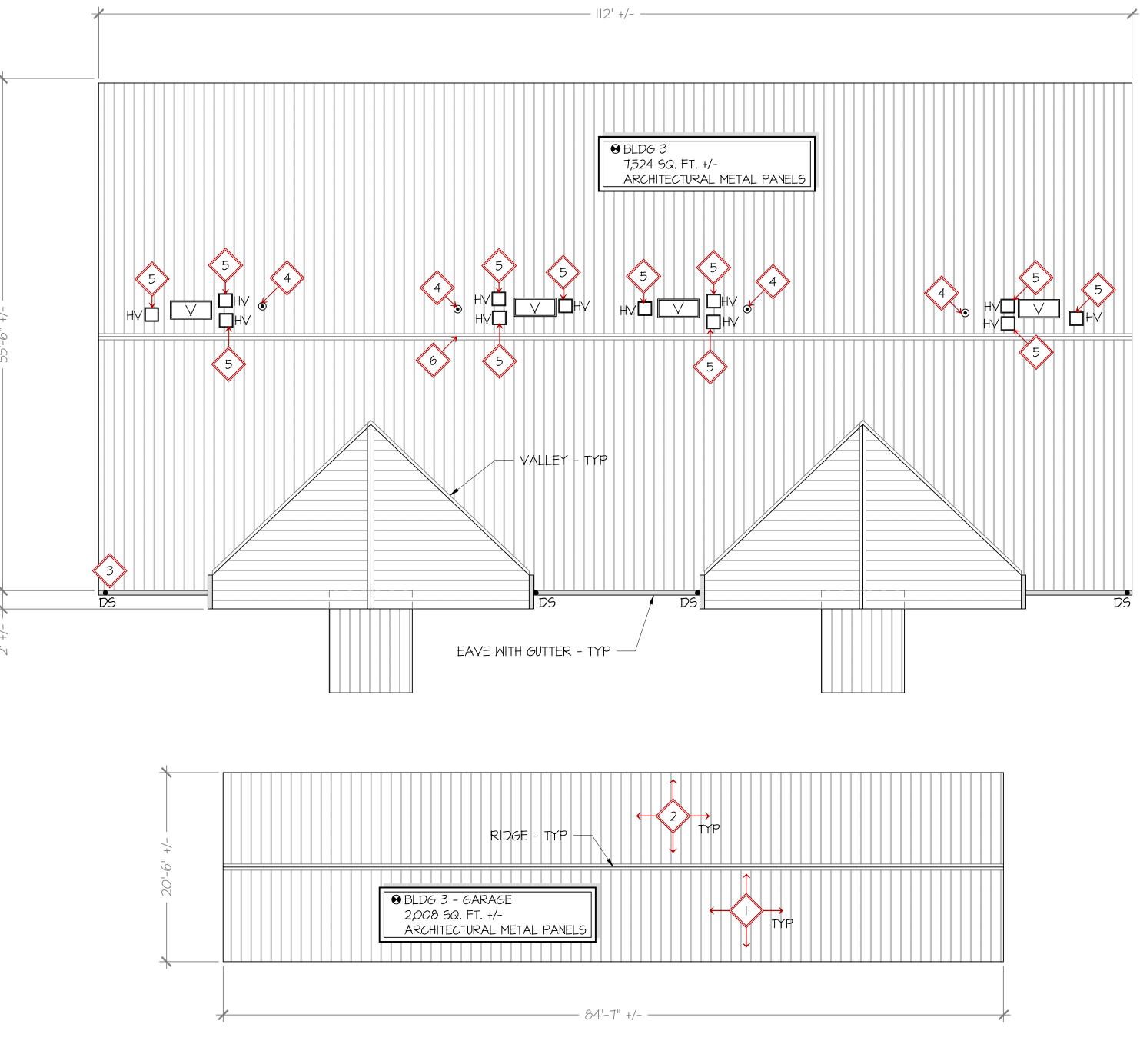


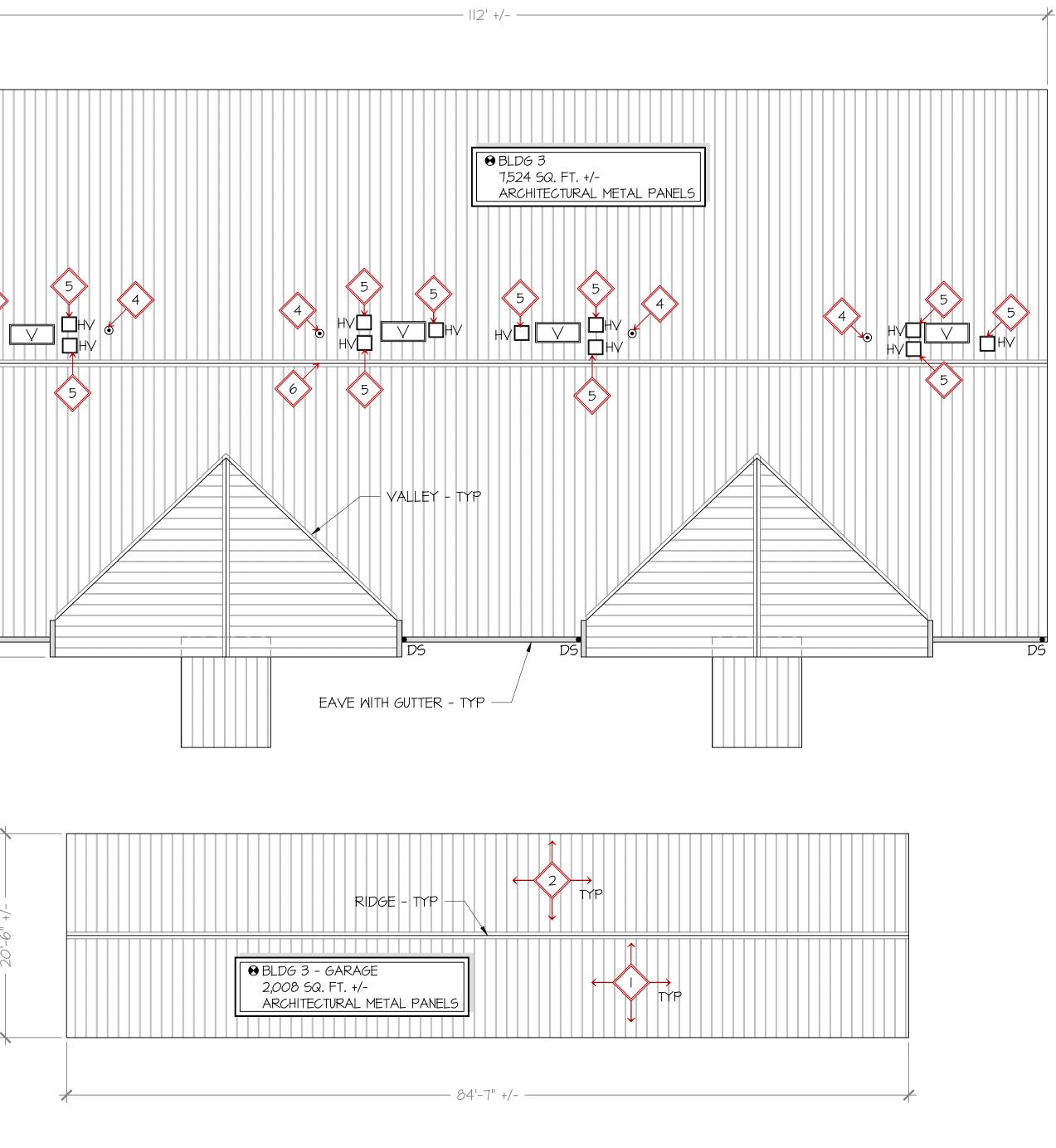
ASSEMBLY

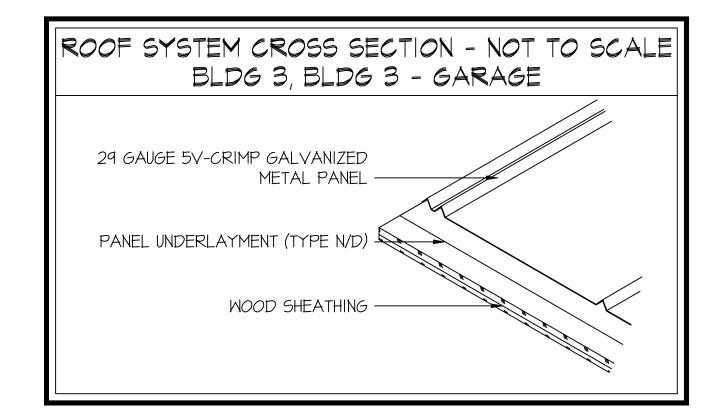
3 LOOSE FASTENERS

I > RUSTED FASTENERS









TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/-A3 SCALE: 1/8"=1'-0"

 SURFACE DETERIORATED SEALANT APPLICATION AT PIPE FLASHING DETAIL DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING LOOSE FASTENERS 	* SURVEYS * SPECIFICATIONS * INS
	(804) 515-0885
	DATE: 10/05/2023 DRAWN BY: V.B.M.
	SCALE: I/8"=I'-O" CHECKED BY: W.D.S JR. SE SE SW NE NW NW
KEY PLAN - NOT TO SCALE	VISUAL INSPECTION CLIENT: VILLAGE OF INDIAN CREEK (HOA) PROJECT: VILLAGE AT INDIAN CREEK (HOA) PROJECT: VILLAGE AT INDIAN CREEK (HOA) ADDRESS: IS371 RIVER VISTA DRIVE NORTH FORT MYERS, FL NORTH FORT MYERS, FL DRAMING: ROOF PLAN
FAILED POOR FAIR GOOD 0-1 YEARS REMAINING SERVICE LIFE 2-4 YEARS REMAINING SERVICE LIFE 5-1 YEARS REMAINING SERVICE LIFE 8+ YEARS REMAINING SERVICE LIFE	AB AB

DEFICIENCY LIST - BUILDING 3

3 TREE LIMBS / BRANCHES OVERHANGING ROOF SURFACE

I DAMAGED DRIP EDGE

2 DAMAGED / DENTED METAL PANELS

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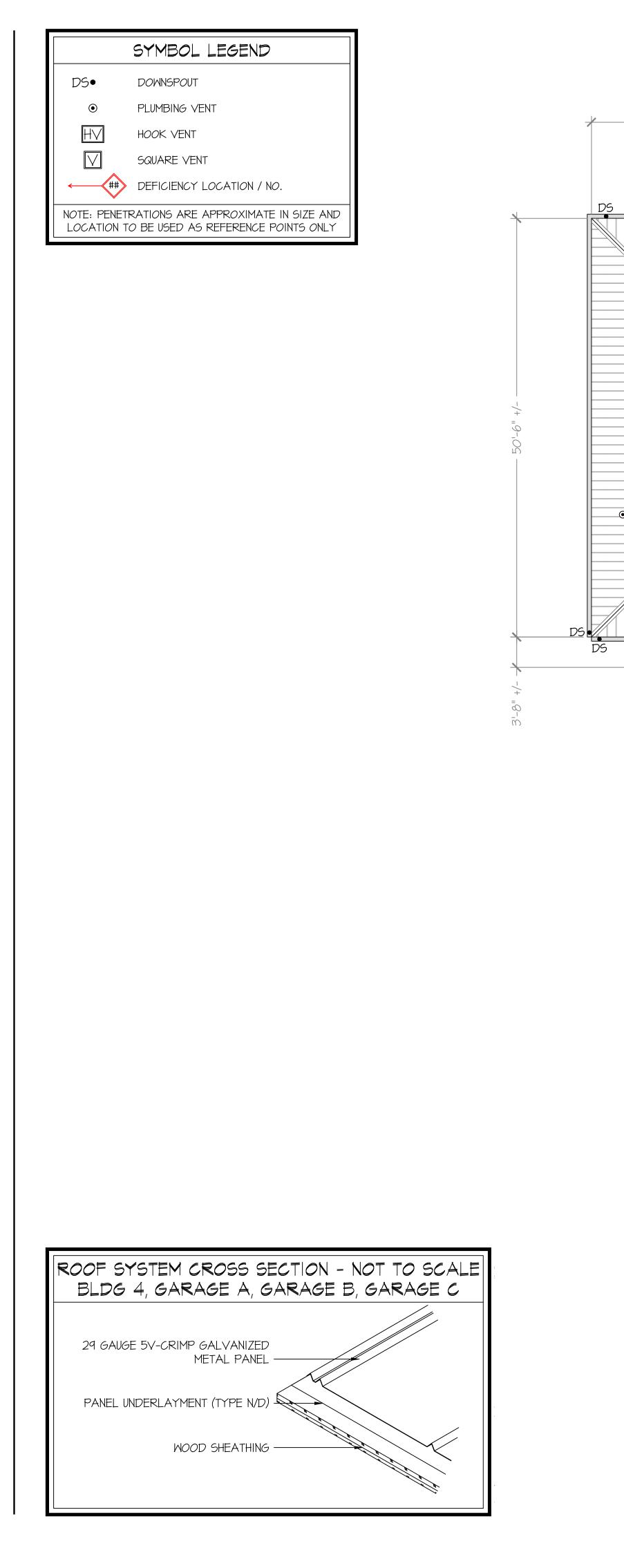
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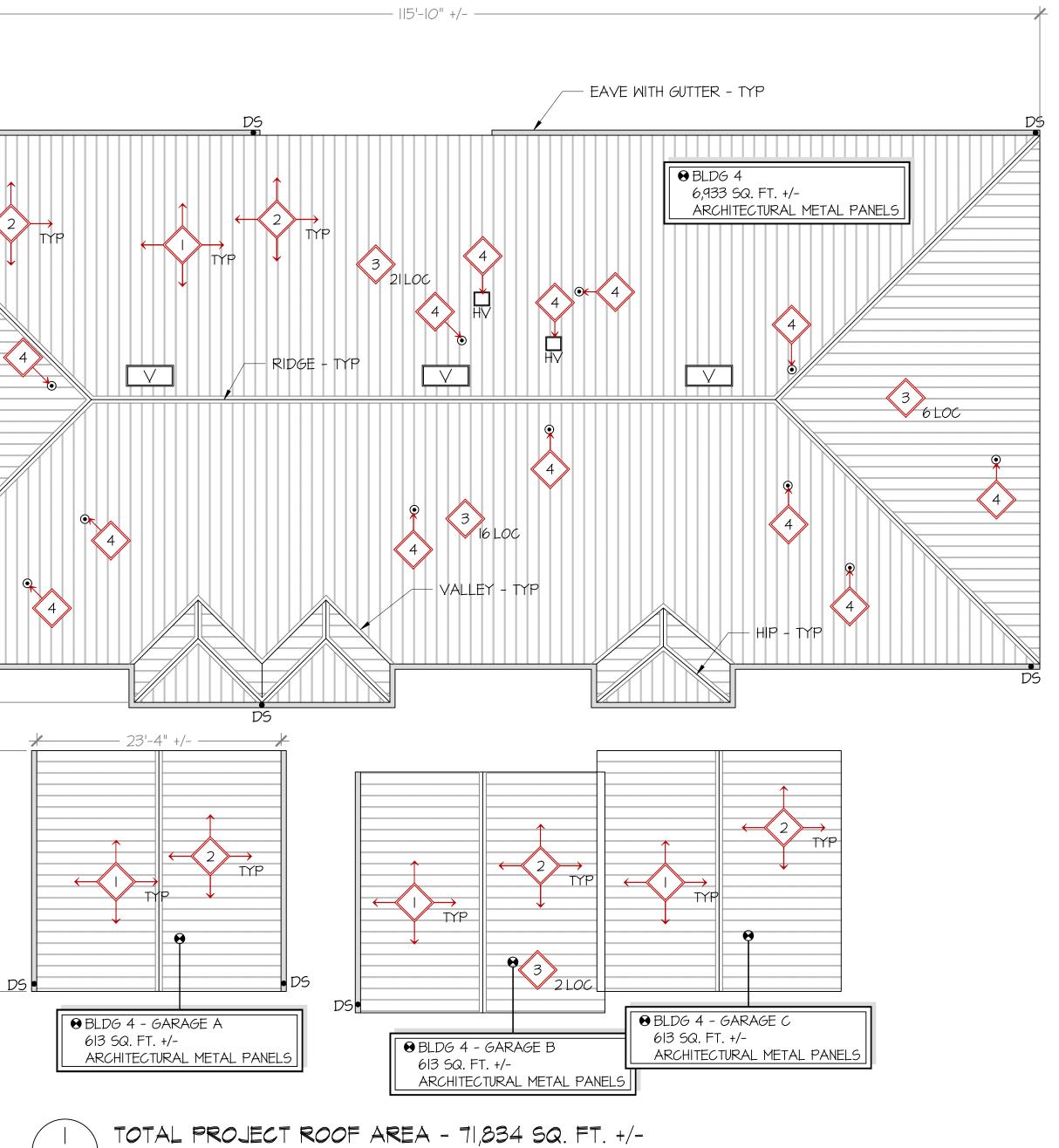
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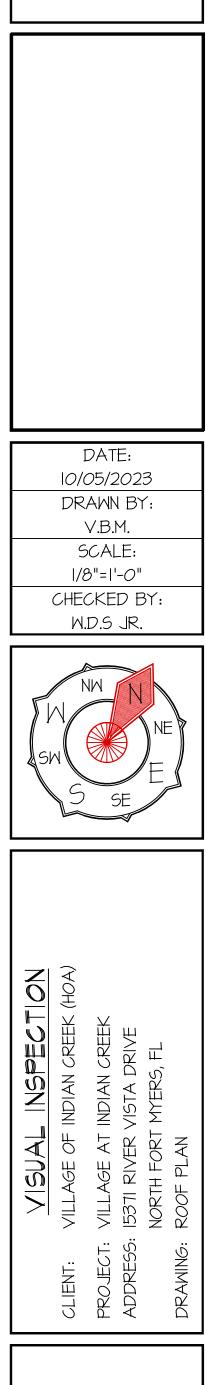
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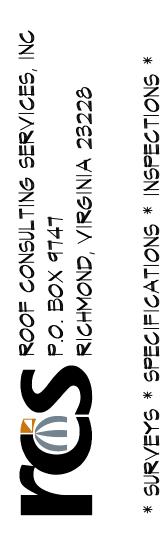
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KEY PLAN - NOT TO SCALE						
FAILED	POOR	FAIR	GOOD			
O-I YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE			



A4

(804) 515-0885



DEFICIENCY LIST - BUILDING 4

2 IMPROPER FASTENERS (NAILS) USED FOR

PRIMARY SECUREMENT OF METAL PANEL

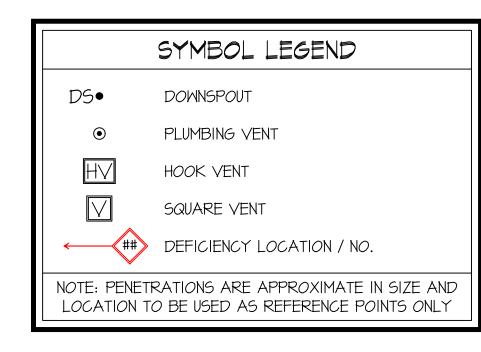
4 DETERIORATED PREVIOUS SEALANT REPAIRS AT

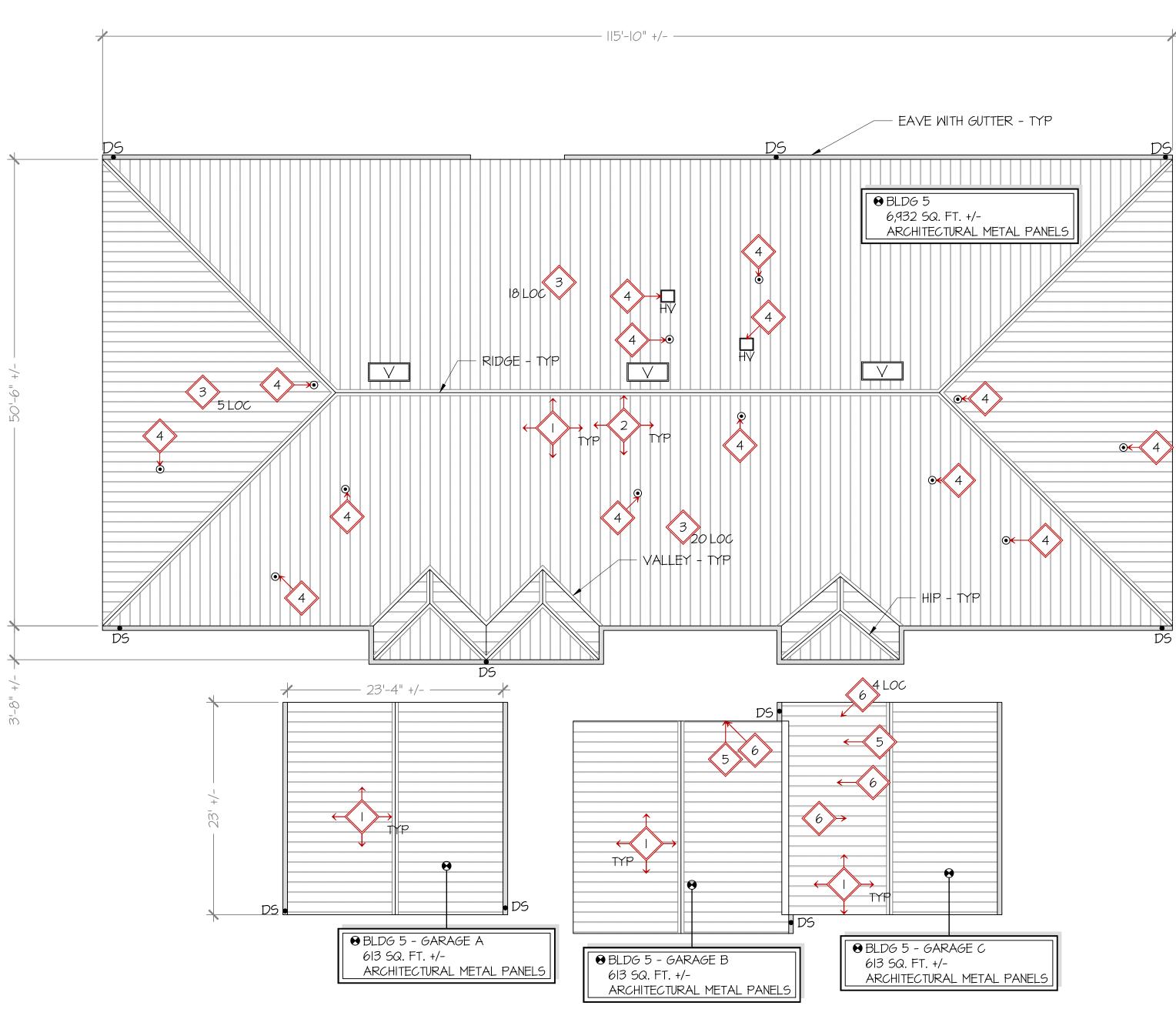


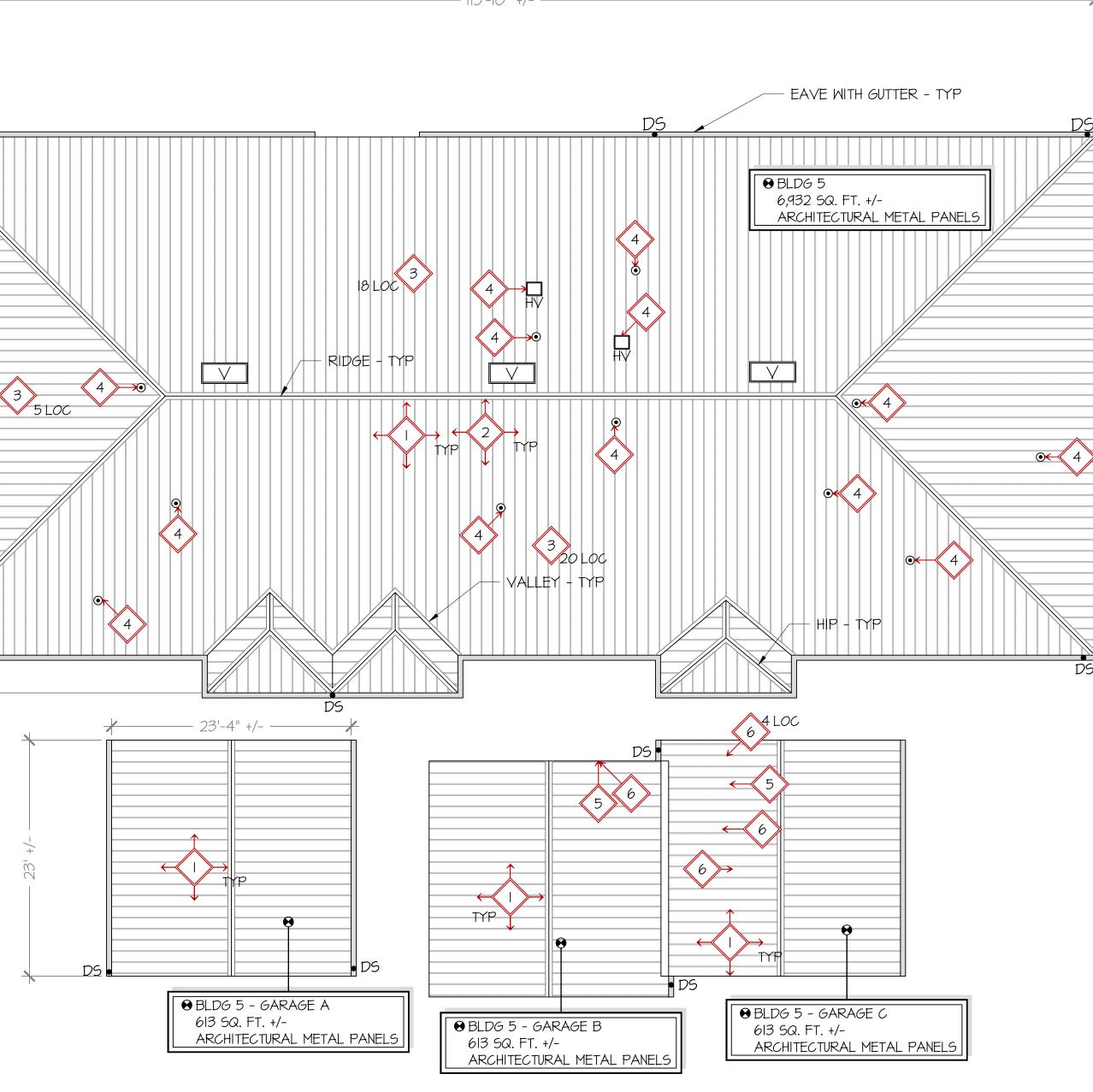
ASSEMBLY

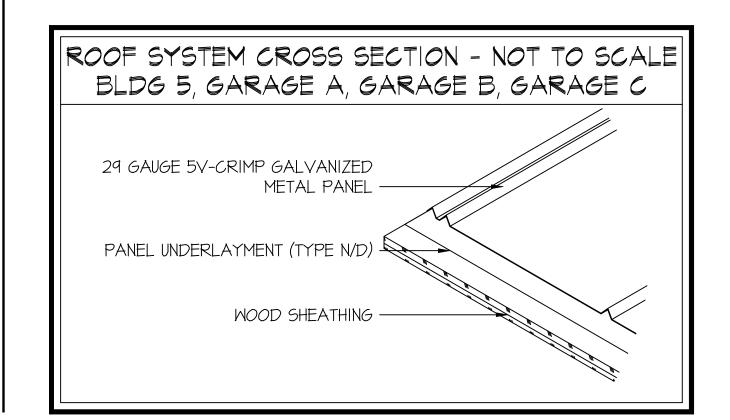
3 LOOSE FASTENERS

PENETRATION FLASHING



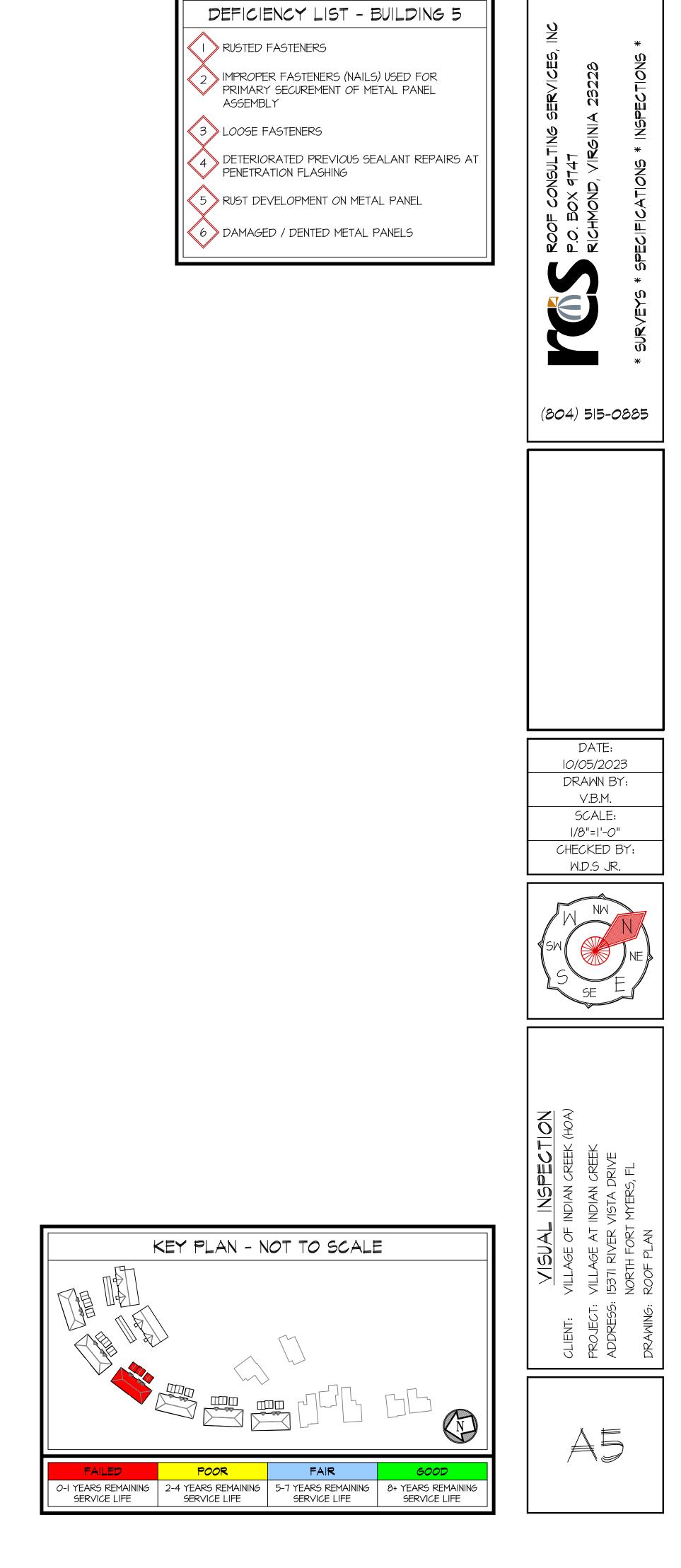


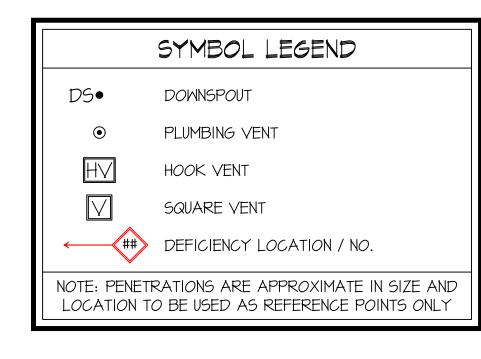


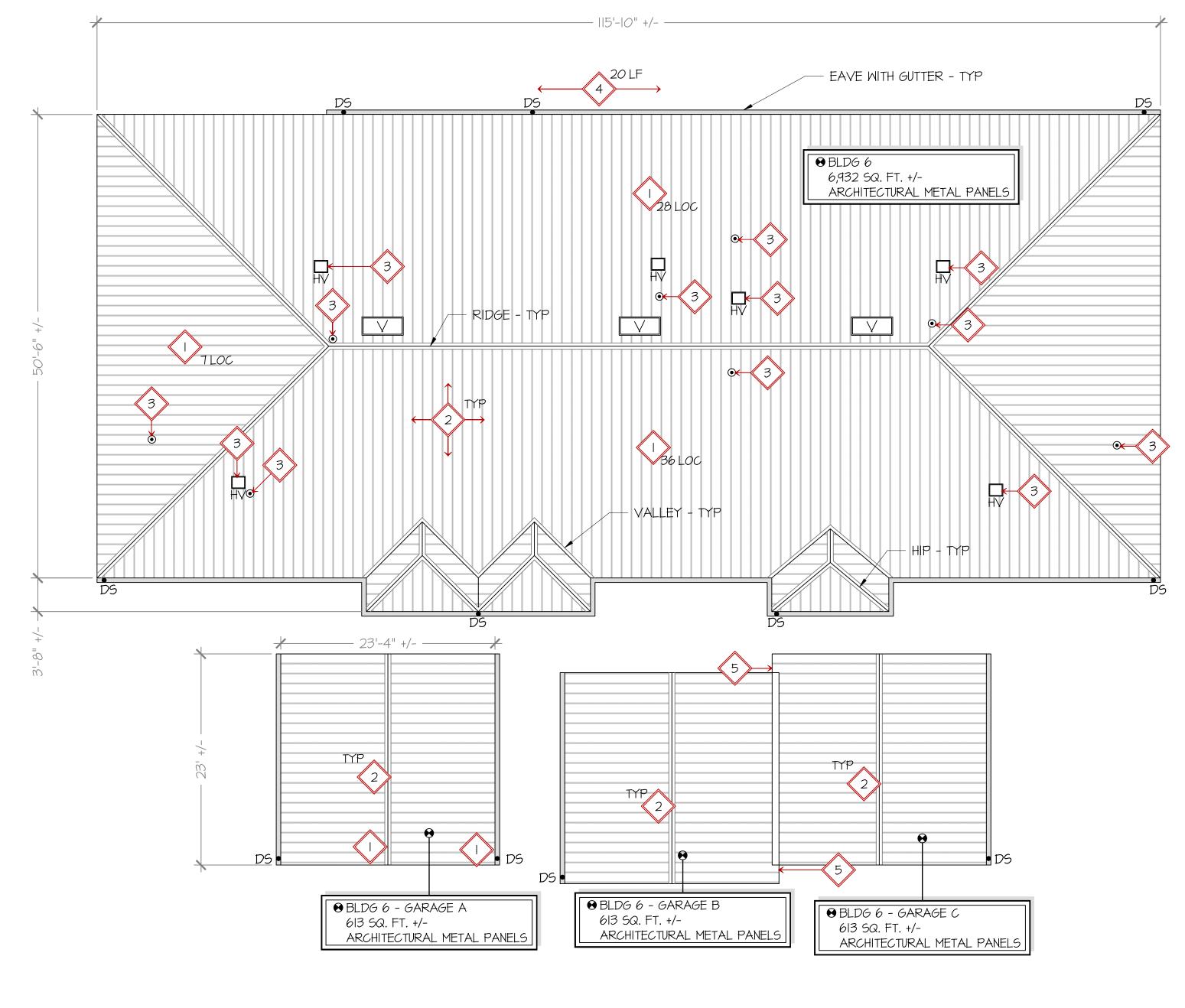


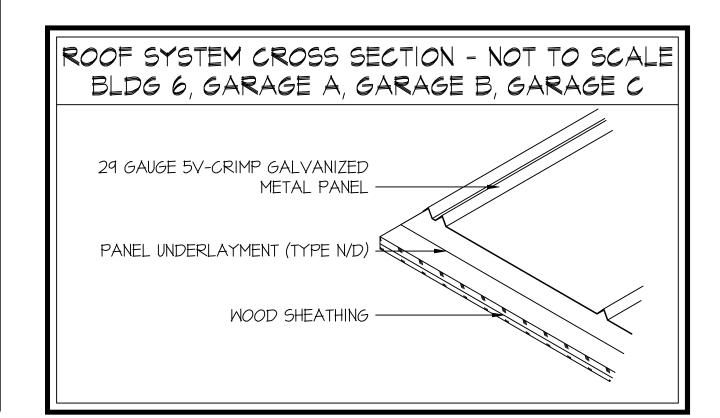
-67111099.DMG \\T6405ERVER\RC55ERVER\DWG5\CLIENT INSPECTION DRAMING5 BY C5I\2338-993762









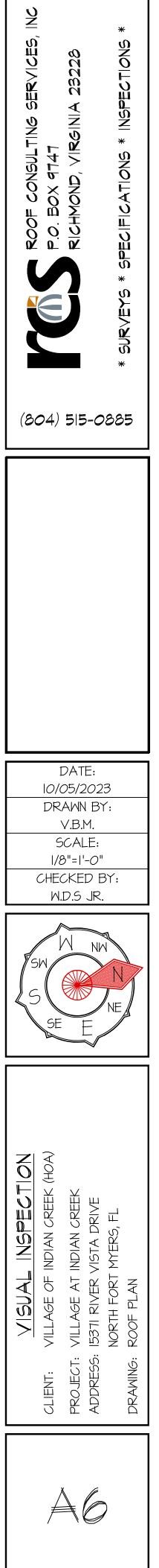


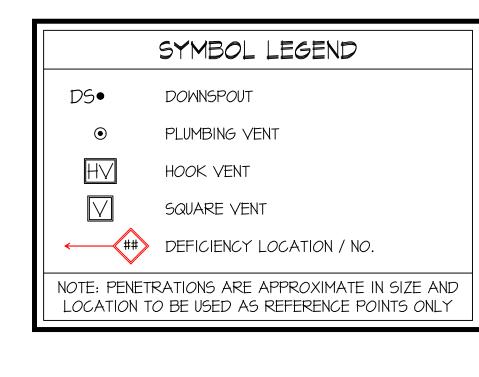
 I
 TOTAL PROJECT ROOF AREA - 71,834 SQ. FT. +/

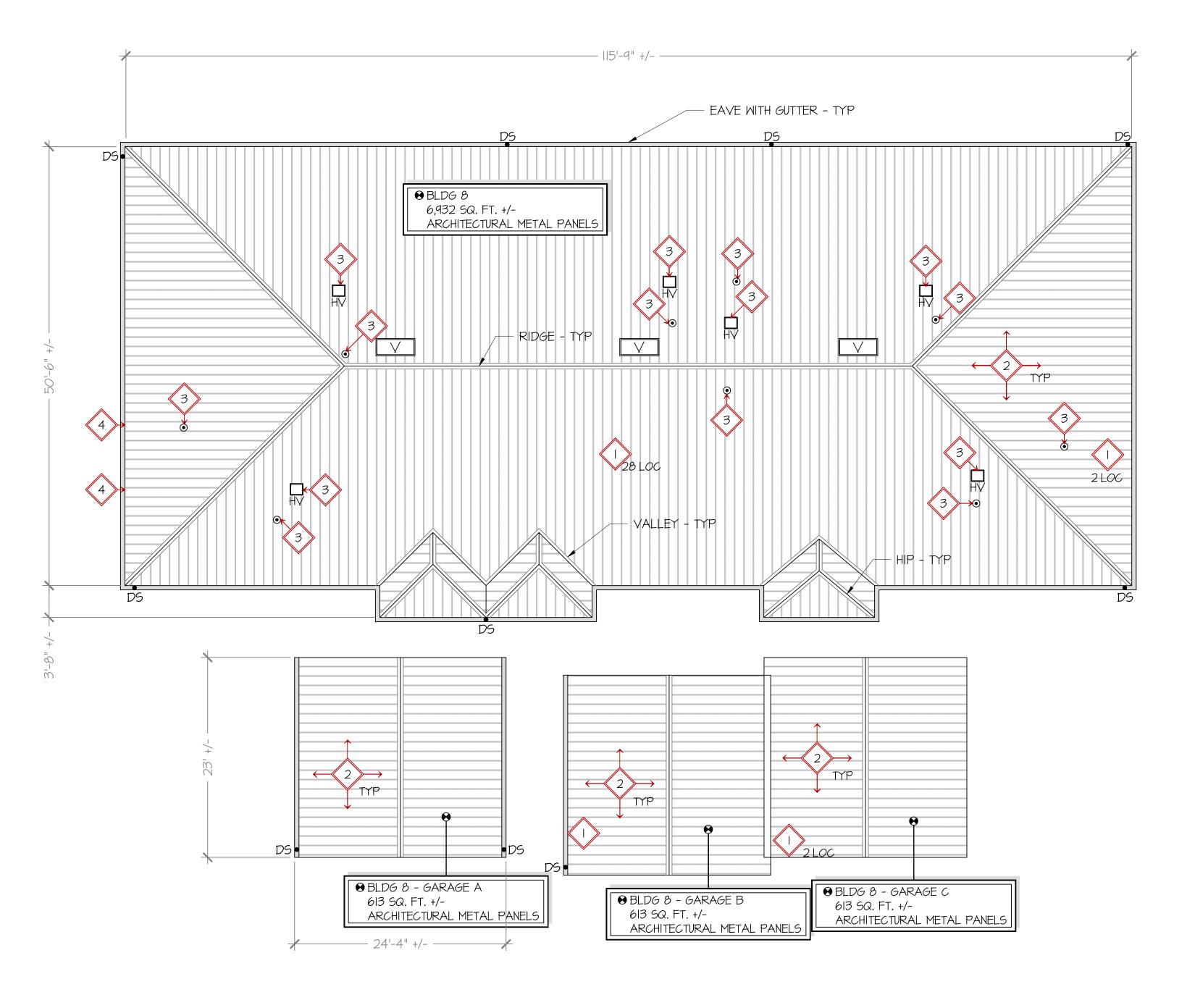
 A6
 SCALE: 1/8"=1'-0"

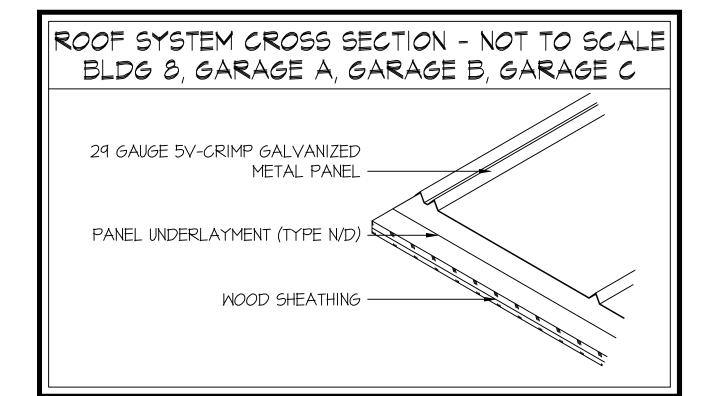
	SW SE
KEY PLAN - NOT TO SCALE	CLIENT: VILLAGE OF INDIAN CREEK (HOA)
FAILEDPOORFAIRGOODO-I YEARS REMAINING SERVICE LIFE2-4 YEARS REMAINING SERVICE LIFE5-7 YEARS REMAINING SERVICE LIFE8+ YEARS REMAINING 	,











-67111099.DMG \\T6405ERVER\RC55ERVER\DWG5\CLIENT INSPECTION DRAMING5 BY C5I\2338-993762



	DATE: 10/05/2023 DRAWN BY: V.B.M. SCALE: 1/8"=1'-0"
	CHECKED BY: W.D.S JR.
	SE NE
	VILLAGE OF INDIAN CREEK (HOA) VILLAGE OF INDIAN CREEK (HOA) VILLAGE AT INDIAN CREEK (HOA) VILLAGE AT INDIAN CREEK I5371 RIVER VISTA DRIVE NORTH FORT MYERS, FL
KEY PLAN - NOT TO SCALE	VISUAL CLIENT: VILLAGE OF PROJECT: VILLAGE AT ADDRESS: 15371 RIVER NORTH FORT DRAWING: ROOF PLAN
FAILED POOR FAIR GOOD 0-1 YEARS REMAINING SERVICE LIFE 2-4 YEARS REMAINING SERVICE LIFE 5-7 YEARS REMAINING SERVICE LIFE 8+ YEARS REMAINING SERVICE LIFE	ÀŦ

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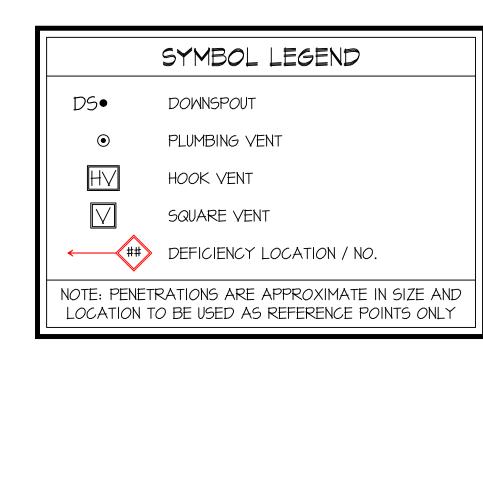
3 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING

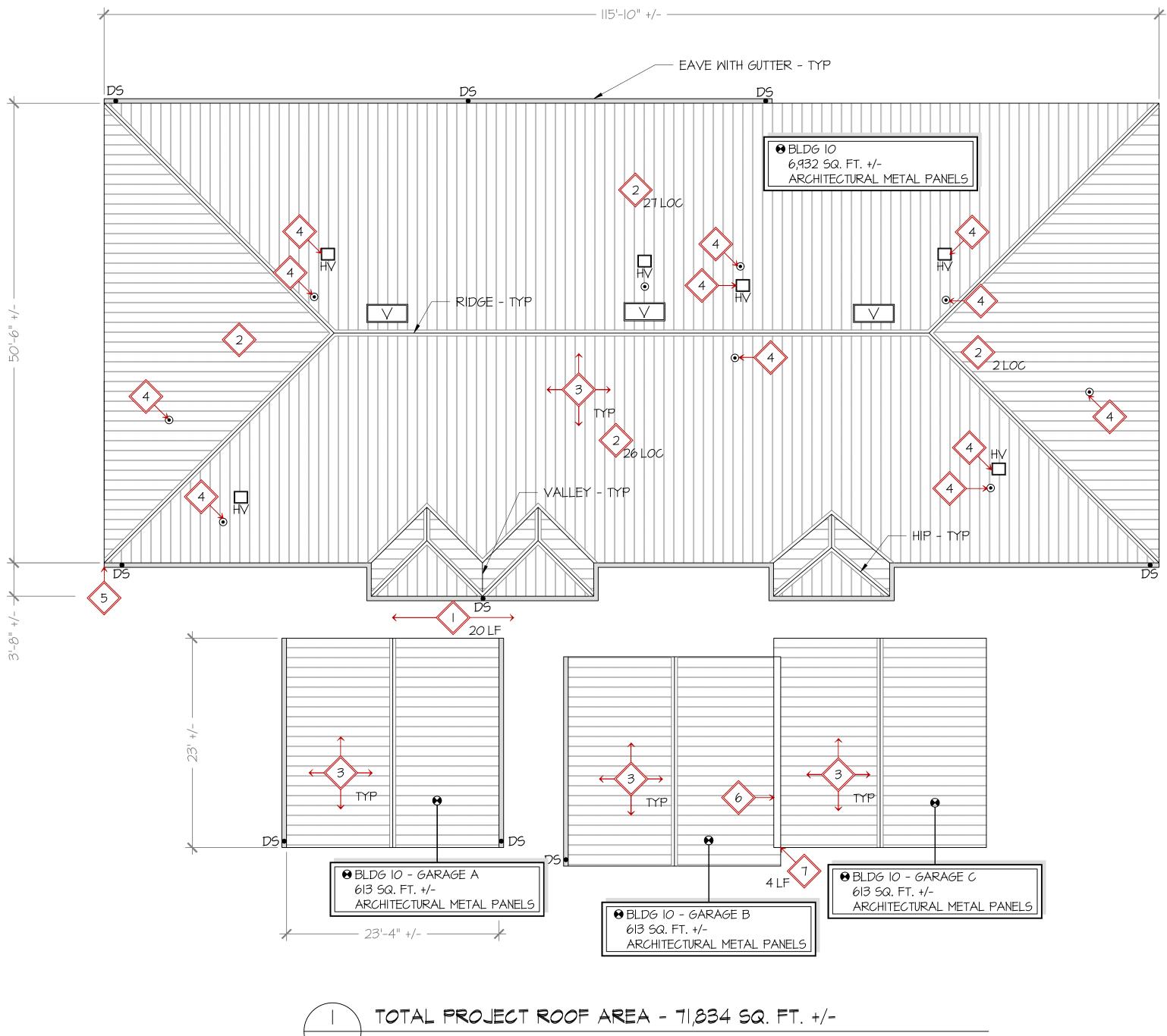
2 RUSTED FASTENERS

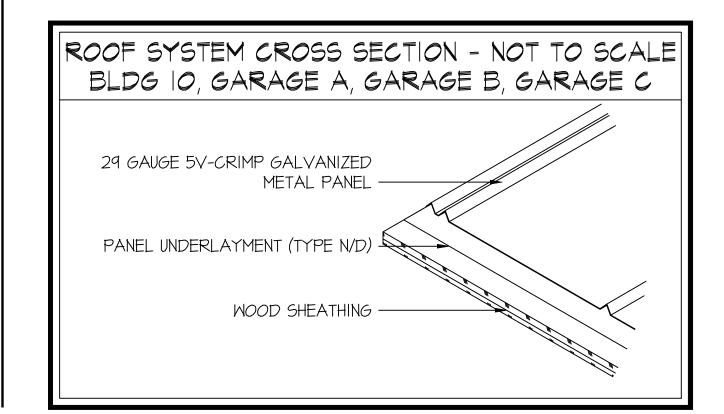
4 DAMAGED VINYL SIDING

I LOOSE FASTENERS

DEFICIENCY LIST - BUILDING 8







A8 SCALE: 1/8"=1'-0"

DEFICIENCY LIST - BUILDING 10	
DEBRIS IN GUTTER	
2 LOOSE FASTENERS	
3 RUSTED FASTENERS	
4 DETERIORATED PREVIOUS SEALANT REPAIRS AT PENETRATION FLASHING	
5 MISSING END CAP ON GUTTER	
6 SEVERELY DETERIORATED FLASHING MEMBRANE IN ROOF VALLEY / DRAINAGE PLANE	
7 OPEN CONDITION AT VALLEY FLASHING	1

KEY PLAN - NOT TO SCALE					
FAILED POOR FAIR GOOD					
0-I YEARS REMAINING SERVICE LIFE	2-4 YEARS REMAINING SERVICE LIFE	5-7 YEARS REMAINING SERVICE LIFE	8+ YEARS REMAINING SERVICE LIFE		

